Artesia

Project Narrative / Development Review Board
589-PA-2016

Location:
7171 N. Scottsdale Road

Prepared for:
Meritage Homes

Prepared by:
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16-DR-2017
4/3/2017

I. Summary of Request & Background

The request is for a Development Review Board ("DRB") approval of the center portion (referred to as "PA-1") of the Artesia development plan for a property located at 7171 N. Scottsdale Road, north of the northeast corner of Scottsdale and Indian Bend Roads (the "Property").

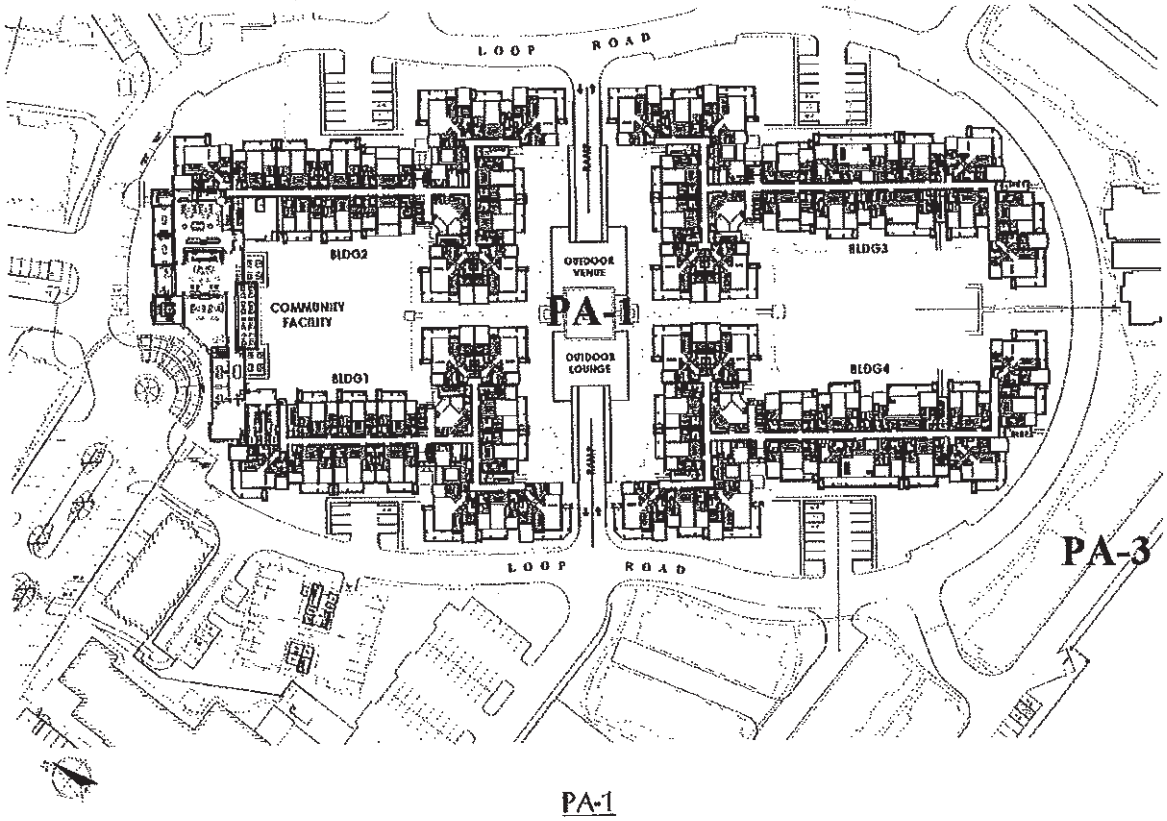
The Artesia development plan was approved by City Council under case 2-ZN-2005 and subsequently amended (site plan and stipulations) under case 2-ZN-2005#2 in March 2015. More specifically, case 2-ZN-2005 approved R-5 PCD zoning on 39+/- acres and C-1 PCD on 5+/- acres along Scottsdale Road. The #2 case amended the development plan for a 17+/- acre portion of the R-5 PCD site to allow for reallocation in building height and additional density for the units planned along the golf course and southern portion of the Property. This approval also included site plan modification to the C-1 PCD portion of the Property along Scottsdale Road to improve vehicular access to the Property.

II. Context

The Property is located north of Downtown and just north of the Southern Scottsdale Character Area. The Property, bounded by the McCormick Ranch Golf Course (O-S) to the east, Traviata Condominiums (R-5) and Scottsdale Seville shopping center (C-2) to the south, Scottsdale Plaza Resort (SUP-R) to the west and the Scottsdale Office Center (C-2) to the north. The City-owned McCormick-Stillman Railroad Park is located to the south of Indian Bend Road.

III. Design & Development Plan Summary

The Artesia PA-1 development provides a luxury residential living experience with numerous onsite amenities and a resort-lifestyle that integrates with the existing urban fabric and collection of uses (resort, recreation, employment, retail, support services) in the nearby vicinity further contributing towards the variety of housing options available to the residents of Scottsdale. PA-1 is the center phase of the site as depicted below.



PA-1
SITE DEVELOPMENT PLAN

Residential Buildings

The Artesia mid-rise development consists of 4 buildings grouped around enhanced amenities and open space areas. Buildings will be 4 stories, 50' in height with 1 subterranean parking level and consist of 242 units (234 flats and 8 townhomes). The main visitor entry is thru the community facility frontage drop-off while owners enter into 1 of 2 subterranean garages along the loop road that access 1-2 designated parking spaces per unit and elevators to each floor level and unit. Additionally, guests will park in designated parking bays that front each building edging the loop road.

Within the cluster of buildings, resident plans range from 1,250 to 3,750 square feet. The plan variations allow for 2br/2ba units up to 3br/3.5ba units that have den/libraries and home theaters. By design, the main focus in the units are the entry zones, great room functions and exterior verandas that are so appealing and usable. In example, entry areas are intended as the 'meet and greet' private space prior to fully entering into each residence, while great room areas of kitchen, dining and living room are designed to be open, large and exposed to the exterior verandas. The glazing facing the verandas contain larger than average sliding doors that when open activate the indoor / outdoor space of enhanced vertical living within a mid-rise development.

The covered verandas are very distinctive as they are the private open space for residents, but moreover, they also serve as an extension of usable square feet above and beyond unit square feet. Also by design, a great majority of bedroom wings, whether master or secondary, have veranda exposure in front of their rooms and subsequently maximize the indoor / outdoor uses across each unit exterior.

As residents, one has access from their own building to the community facility, two separate pool areas, a central spine leading to significant open space between all four buildings, along with a path of travel that allows for a perimeter walkable community. In addition, there are walks that link to the retail frontage of the project and other surrounding retail zones.

The architectural character, massing and texture embody Contemporary Southwest style:

Design Details

1. Verandas - outdoor spaces with columns disengaged from railing provide contemporary detail
2. Eaves - corbels / rafter tails provide transitional character and massing
3. Railings - both glass and wire mesh railing provide contemporary detailing
4. Roof - both flat roof and sloping tile roof provide transitional character and massing
5. Stucco - combined smooth / sand finishes provide transitional texture variation

Color and Material

6. Building - light cream stucco with smooth and sand finishes
7. Stone - veneer in light coral and medium tone adoquin
8. Bronze trim - railings, corbels, rafter tails, veranda edges
9. Beige trim - door and window trim
10. Roof tile - flat tile grey tone

Community Facility/Clubhouse

The community facility is the meaningful common area/clubhouse amenity for the residences located on the north end of PA-1. The building will be two levels with a roof top deck. The building entry façade serves as the backdrop to the semi-circle drop off under the porte-cochere. Once inside the entry doors, the two-story volume opens up for viewing of the lobby lounge / expansive fireplace wall, and the amazing view toward the multiple pools thru opened multi-sliding doors.

Beyond the lobby, multiple functions at the ground level include the concierge desk service, the sales gallery for the mid-rise residential units, the automated parcel locker room for mail and parcel deliveries, a bistro / bar lounge with wine lockers, the over-sized lounge gathering area containing seating, multi-media walls, demonstration kitchen, billiards, outdoor patio verandas, along with a service / delivery / storage access area for catering events. Additionally, there is a feature elevator and grand stairway that leads vertically to the second floor and rooftop amenities.

At the second level, multiple activity areas include a group theater for gathering and viewing special events, fitness center with yoga, spinning, exercise equipment and an outdoor relaxation veranda. On the opposite side of the building, there is an outdoor veranda overlooking the pool area, and a gallery leading to the business center setup with conference room for owner use, and the HOA offices at the end of the hall. Please note that moving to and from spaces on the second level, one will experience the overlook down into the lobby with views out to the pool area, and oppositely out to the front entry and water feature.

At the top level, one accesses the roof amenity by the grand staircase or elevator, and is exposed to a large ramada with bar / seating and catering options, along with individual section areas for BBQ and gathering farm tables, and lounge seating in multiple zones with fire and water features. The rooftop will provide that special retreat for distant viewing, overlooks to the pool and engaged space for gathering large groups for entertaining events.

The rear of the community facility faces the outdoor pool zone with four individual smaller pools serving different functions, along with individual surrounding cabanas, lounge chairs, along with central green open space adjacent to two covered verandas for reserved use.

Additionally, there is a kid zone that is tucked into the ground level of Building 2 and faces the rear exterior of the Community Facility. This zone is one of getaway for kids adjacent to the pool and Community Facility.

Landscape/Outdoor Spaces

Artesia's design concept from a site improvement perspective is "resort residential." A series of well linked "outdoor rooms" connect the resident to a variety of active and passive recreational spaces for the enjoyment of residents and guests. These spaces include pools, water features, fire features, solid roof shade structures, outdoor barbeques and outdoor kitchens. The planting design will complement the architecture, is more sun tolerant on the perimeter loop road and more shade tolerant in the internal courtyards due to the solar orientation of the 4-story structures. The importance of pedestrian linkage to connect this parcel to adjacent retail, restaurant and recreational amenities is well recognized and will be a critical component of the project's success. Landscaping is an important part of the Artesia resort-like environment and has been designed in a manner that enhances the pedestrian realm and emphasizes shaded walkways and shaded amenity areas in response to the desert environment.

IV. Development Review Board Criteria (Sec. 1.904)

A. In considering any application for development, the Development Review Board shall be guided by the following criteria:

1. ***The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.***

Response: Artesia PA-1 will comply with the applicable guidelines, development standards, Design Standards & Policies Manual, General Plan and Zoning Ordinance. While the zoning narrative submitted, and approved under separate application (2-ZN-2005#2, March 2015), outlined in more detail the broader context of the General Plan, below is a summary of how this proposal complies. The Property is described as being part of the "Resort Corridor" on the Character Type Map in the General Plan. The General Plan specifically identifies the Resort Corridor as consisting of concentrations of a variety of high-amenity residential, specialty retail, tourist accommodations, quality office and recreational uses. The proposed DRB submittal is

consistent with the specified uses within the Resort Corridor. The Property is not located within a specific Character Area of the General Plan, but is within close proximity to both the Southern Scottsdale Character Area and Downtown Plan.

The General Plan highlights the City's desire to maintain and expand the diversity of interconnected land uses and pedestrian synergy. Artesia fulfills this goal by bringing additional residential development to the Resort Corridor, further anchoring its presence and strengthening the economic stability of Scottsdale and helping to maintain a balance of land uses and promoting the "live-play-work" philosophy highlighted in the General Plan. The proposed development accomplishes a range of goals and policies including the redevelopment of a property, integrating high quality, vibrant architecture and site planning to the area, and creating pedestrian synergy that will complement the surrounding range of uses including commercial, recreation and resort.

2. The architectural character, landscaping and site design of the proposed development shall:

a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;

Response: The overall project architectural character is respectful of the surrounding built environment with heights and massing consistent with the zoning approved plans.

The site is relatively flat with existing underground parking. The common open space areas and landscape character of the proposed development includes a wide variety of plants that will provide year-round color, shade, and texture for the site. The proposed plant palette incorporates hardy plants known to thrive in the intense heat and sun of the desert climate. The planting design includes dense planting patterns and shade trees in areas with the most human interaction such as entries, amenity areas and pedestrian areas.

b. Avoid excessive variety and monotonous repetition;

Response: In addition to the comments above, a critical design quality that was considered in the building design was the importance of human scale. Human scale provides for both a higher quality pedestrian environment, which is created with a variety of small-scale buildings elements rather than a single large unarticulated building, and a sense of "home" for the residents. Inherently this type of design lends itself to visually interesting architecture vs. monotonous repetition or static building forms.

c. ***Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;***

Response: Please see the Scottsdale Sensitive Design Principle section below.

d. ***Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and***

Response: Not applicable.

e. ***Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.***

Response: Not applicable.

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

Response: With predominately underground parking, the development has removed the pedestrian obstacle of the parking lot from the streetscape and reinforced the idea of other alternative means of circulation. The ground level will also be activated with an open plaza-like feel. All buildings have 3 points of access to interior and exterior open spaces. There are also select units with direct access from the private verandas to the common open space areas. The common area will include quality hardscape surfaces, pedestrian furniture/seating, and shaded areas to enhance the pedestrian experience. The pedestrian connections around and through the site reflect a healthy urban environment and reinforce the desire to engage with the community through close proximity to a range of uses.

4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.

Response: Mechanical equipment, both rooftop and ground plane will be screened by the building and/or walls and vegetation.

5. Within the Downtown Area, the building and site design shall: Not applicable.

6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:

a. Accessibility to the public;

b. Location near pedestrian circulation routes consistent with the existing or future development or natural features;

c. Location near the primary pedestrian or vehicular entrance of a development;

d. Location in conformance with the Design Standards and Policies Manual for locations affection existing utilities, public utility easements, and vehicular sight distance requirements; and

e. Location in conformance and to standards for public safety.

Response: Public Art, or the relocation of Public Art, is not part of this application but the applicant acknowledges the requirements for future applications.

B. The burden is on the applicant to address all applicable criteria in this section.

Response: Acknowledged above.

V. Scottsdale Sensitive Design Principles

The Character and Design Element of the General Plan states that "Development should respect and enhance the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain our community and its quality of life." The City has established a set of design principles, known as the Scottsdale's Sensitive Design Principles, to reinforce the quality of design in our community. The following Sensitive Design Principles are fundamental to the design and development of the Property.

1. ***The design character of any area should be enhanced and strengthened by new development.***

Response: The building configuration, architectural character, site circulation, pedestrian connectively, quality and amount of open scape, landscaping, and collection of amenities all factor into providing a design that enhances the unique southwestern character of Scottsdale. In keeping with the existing buildings on site, the new buildings will play off the established architectural theming, materials, and details for contextual appropriateness while providing a fresh new architectural style responding to today's market demand and providing the types of units buyers are seeking in today's market.

2. ***Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features.***

Response: Although the setting of this site is suburban in character and does not have natural features such as washes and natural area open space, the developer has taken special consideration in maintaining providing meaningful open space, view corridors and recreational amenities for the residents tying back to the existing open space amenity (McCormick Ranch Golf Course) along the east of the Artesia development plan. The site has approximately 56% Open Space.

3. ***Development should be sensitive to existing topography and landscaping.***

Response: The property is a redevelopment site. All landscaping will consist of low-water use desert appropriate landscaping materials. See Landscape Plan.

4. ***Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.***

Response: The proposed development will preserve and restore natural habitats and ecological processes through the inclusion of additional desert appropriate landscaping (as well as integration of native plants). Additional landscaping will contribute to the suburban habitat for wildlife and improved air quality. Also, desert appropriate plants will be able to withstand the variations of the local climate and as they mature they will become self-sustaining relative to water demand. See Landscape Plan.

5. ***The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.***

Response: The site falls within the Suburban Streetscape per the Streetscape Map in the General Plan. The proposed development does not have a significant portion that touches Scottsdale Road but modifications and new entry elements are designed in a manner that is consistent with the Suburban Streetscape and Scottsdale Road plant palette. Pedestrian circulation along both the perimeter and internal to Artesia is an important feature of this project, as numerous retail, restaurant, resort/hotel, and recreational uses are within walking distances from this site.

6. ***Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.***

Response: The Artesia site is located along Scottsdale Road, a major arterial and just north of Indian Bend Road, a minor arterial. The Scottsdale Road corridor is flanked with commercial and resort development, which provide both a local and regional draw. This Property is nestled between commercial uses on the west, multifamily on the south and developed open space (golf) on the north and northwest and is naturally a very walkable location based on the surrounding context.

7. ***Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.***

Response: The proposed development will incorporate design elements that respect human-scale, providing shade and shelter through building, site and landscape design.

8. Buildings should be designed with a logical hierarchy of masses.

Response: Central to the overall Artesia development plan, the proposed use of building massing for PA-1 is compatible to surrounding developments and is appropriately placed back from Scottsdale Road. Building articulation and stepped massing promote a natural hierarchy of the built form.

9. The design of the built environment should respond to the desert environment.

Response: The proposed development will utilize a variety of desert appropriate textures and building finishes, incorporate architectural elements that provide solar shading and overhangs, and celebrate the Southwest climate by creating abundant outdoor living spaces and amenities for its residents. The private outdoor living spaces proposed with this project far exceed the City requirements ranging from approximately 200 s.f. to 1,000 s.f.

As noted above, Artesia's design concept from a site improvement perspective is resort residential. A series of well linked outdoor rooms connect the resident to a variety of active and passive recreational spaces for the enjoyment of residents and guests. These spaces include pools, water features, fire features, solid roof shade structures, outdoor barbeques and outdoor kitchens. The planting design will complement the architecture, is more sun tolerant on the perimeter loop road and more shade tolerant in the internal courtyards due to the solar orientation of the 4-story structures. The importance of pedestrian linkage to connect this parcel to adjacent retail, restaurant and recreational amenities is well recognized and will be a critical component of the project's success. Landscaping is an important part of the Artesia resort-like environment and has been designed in a manner that enhances the pedestrian realm and emphasizes shaded walkways and shaded amenity areas in response to the desert environment.

This response also relates to number 11 & 12. Below.

10. Developments should strive to incorporate sustainable and healthy building practices and products.

Response: Sustainable strategies and building techniques, which minimize environmental impact and reduce energy consumption, will be emphasized. Green building will provide eco-friendly construction methods and materials, good ventilation design, breathable walls, and use of natural, non-toxic products and materials. The exploration and use of solar fields on the rooftops is underway as well.

11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.

Response: Context appropriate, mature arid-region plant materials will be utilized with the development of PA-1. The desert character will be upheld through the careful selection of plant materials in terms of scale, density, and arrangement. See Landscape plan.

12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.

Response: The proposed development will maintain a low-water use plant palette. Context appropriate desert plant materials will be utilized with the development of the Property, consistent with the established vegetative pattern for Artesia and along Scottsdale Road (see Landscape Plan).

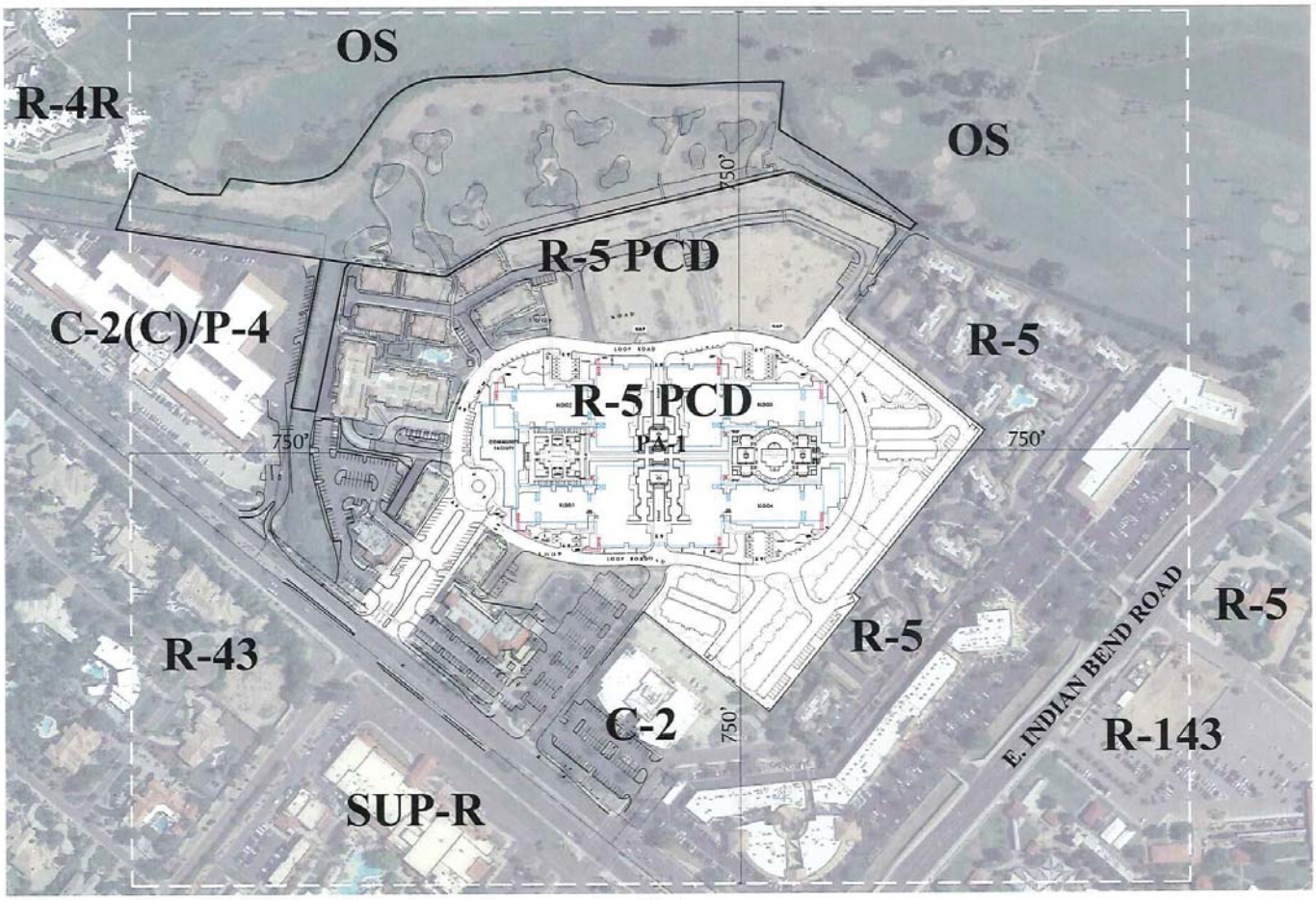
13. The extent and quality of lighting should be integrally designed as part of the built environment.

Response: Lighting has been designed in a manner that is respectful of the surrounding context while maintaining safety for future residents. See Lighting Plan and Photometric Plan.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

Response: Project identification will be contextually appropriate and processed under a separate approval and permit process.

24 X 36



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SCALE : 1" = 100'-0"

PA-1
CONTEXT AERIAL

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA
DRB SUBMITTAL 06-09-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE
ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LAND VALUE ENGINEERING
15751 Mary Antoine Blvd., Suite 270, Irvine, Ca 92612
TEL 949 251 8080 FAX 949.623.3084

STAMP
REGISTERED ARCHITECT
CERTIFICATE NO.
23611
JOHN E. BUCILLA
ARIZONA, U.S.A.
EXPIRES 06/30/2018

ARTIST'S ARCHITECTURAL ONLY

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

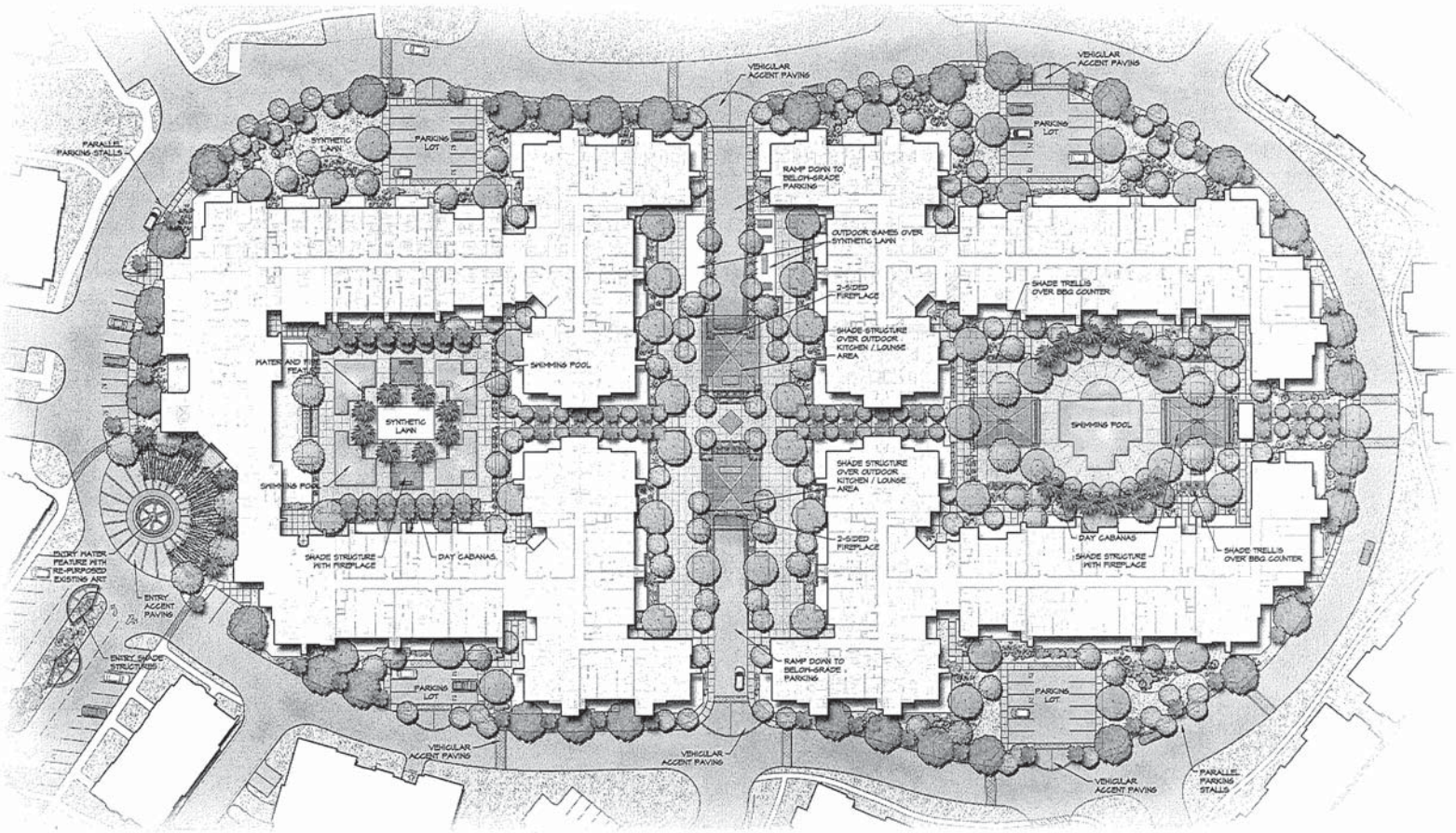
PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number
BGA No. 15029

Sheet Title :
PA-1 / PA-3
CONTEXT AERIAL
PLAN

Sheet No. :
SP-2.0

16-DR-2017
6/2/2017



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Artesia

Illustrative Master Plan

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Scottsdale Road & Indian Bend Road
Scottsdale, AZ | July 13, 2017

L 1.0

0 30 60 90 150

Scale : 1" = 30'-0" @ 24"x36"

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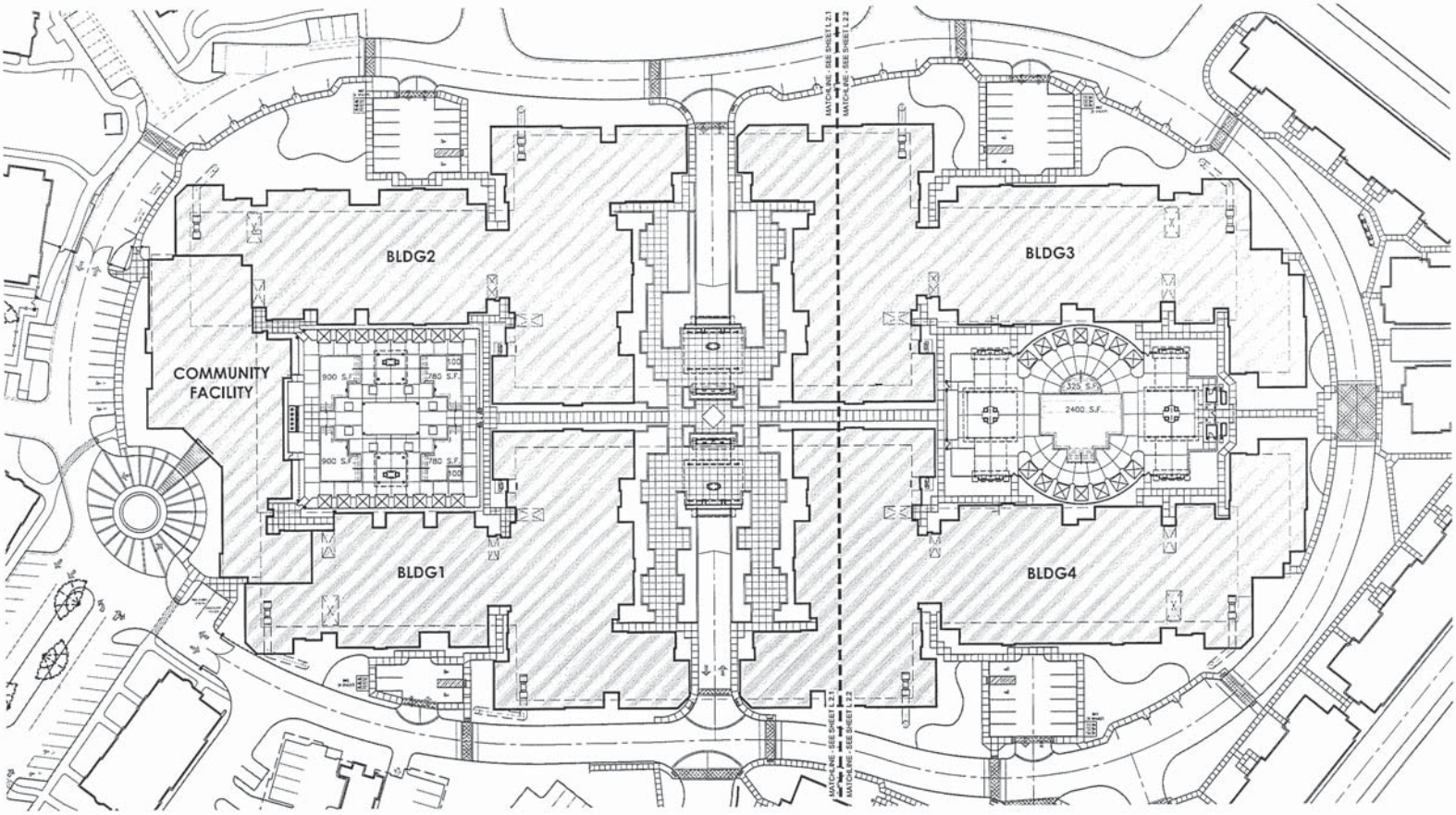

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Artesia

Hardscape Plan - Overall

Scottsdale Road & Indian Bend Road
Scottsdale, AZ | July 13, 2017

L 2.0

0 30 60 90 150

Scale : 1" = 30'-0" @ 24"x36"

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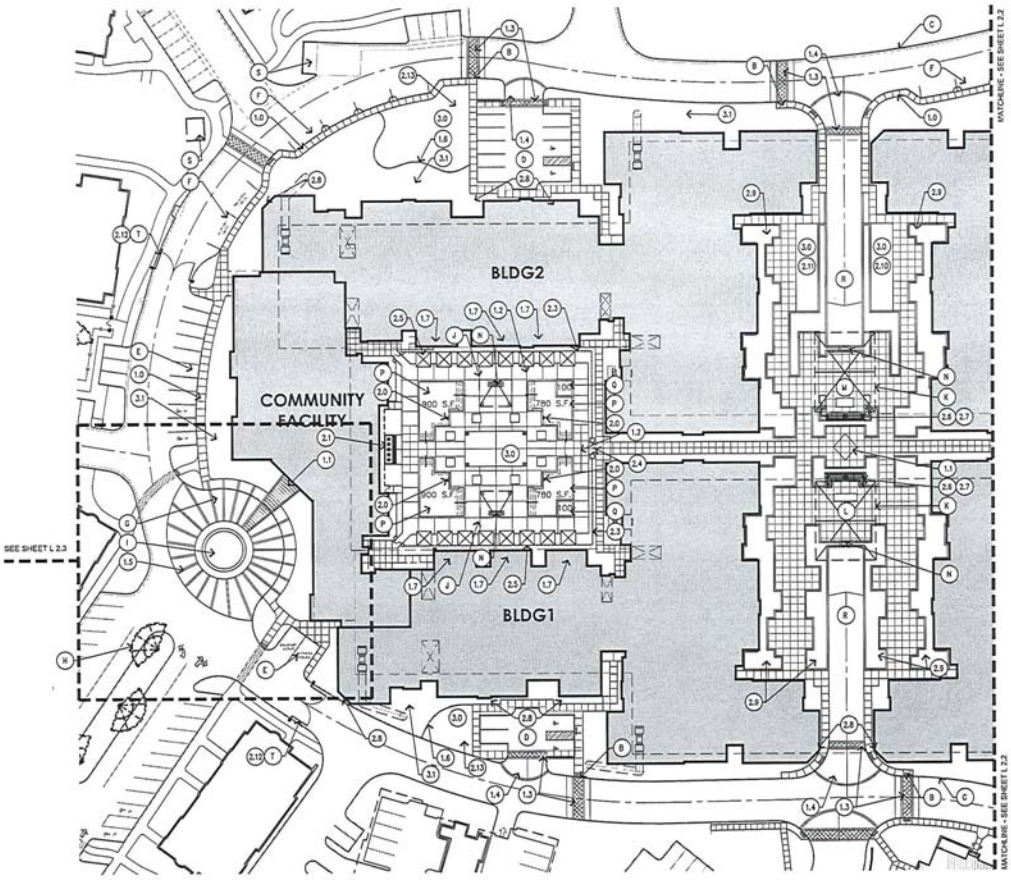

HARDSCAPE KEYNOTES

(X) EXISTING CONDITIONS / DISCIPLINE REFERENCE

KEY	DISCIPLINE	DESCRIPTION
A	CIVIL ENG.	SCOPE OF WORK
B	CIVIL ENG.	ACCESSIBLE CURB & RAMP
C	CIVIL ENG.	CONCRETE CURB & GUTTER
D	CIVIL ENG.	PARKING LOT
E	CIVIL ENG.	PARKING STALL
F	CIVIL ENG.	PARALLEL PARKING STALL
G	ARCH.	ENTRY SHADE TRELLIS
H	ARCH.	ENTRY DRIVE SHADE STRUCTURE
I	ARCH.	RAIN CURTAIN FEATURE AT EXISTING ART
J	ARCH.	SHADE STRUCTURE AT POOL
K	ARCH.	SHADE STRUC. AT BBQ OUTDOOR KITCHEN
L	ARCH.	OUTDOOR KITCHEN
M	ARCH.	U SHAPE OUTDOOR PERFORMANCE KITCHEN
N	ARCH.	2-SIDED FIREPLACE AT SHADE STRUCTURE
O	ARCH.	POOL RESTROOMS
P	POOL CONT.	SWIMMING POOL WITH TRANSFER WALL
Q	POOL CONT.	DAM WALL SPA WITH TRANSFER WALL
R	EXISTING	RAMP DOWN TO VEHICLE GARAGE BELOW
S	EXISTING	REFUSE ENCLOSURE
T	EXISTING	VEHICULAR GATE

(1.0) PAVING & FLATWORK

KEY	DTL.	SHEET	DESCRIPTION
1.0	–	–	STANDARD CONCRETE SIDEWALK
1.1	11	L 5.2	PEDESTRIAN ACCENT PAVING
1.2	10	L 5.2	POOL / PEDESTRIAN ACCENT PAVING
1.3	8	L 5.2	CROSSWALK: INTEGRALLY COLORED WASHED AGGREGATE CONCRETE WITH ACCENT PAVING STRETCHER COURSE
1.4	9	L 5.2	VEHICULAR ACCENT PAVING: INTEGRALLY COLORED WASHED AGGREGATE CONCRETE WITH ACCENT PAVING STRETCHER COURSE
1.5	1	L 2.3	RADIAL VEHICULAR ACCENT PAVING INTEGRALLY COLORED WASHED AGGREGATE CONCRETE WITH ACCENT PAVING STRETCHER COURSE
1.6	12	L 5.2	6" W. CONCRETE HEADER
1.7			EXTENDED REAR PATIO FOR THESE UNITS

(2.0) SITE DETAILS

KEY	DTL.	SHEET	DESCRIPTION
2.0	–	–	FIRE & SHEER WATER CASCADE FEATURE
2.1	–	–	WATER WALL
2.2	–	–	"CELOSIA" VIEW WALL
2.3	5	L 5.1	POOL FENCE
2.4	6	L 5.1	POOL GATE
2.5	3	L 5.0	DAY CABANA
2.6	1	L 5.0	TRELLIS
2.7	2	L 5.0	BBQ WITH TRELLIS
2.8	–	–	HEDGE BUFFER
2.9	7	L 5.1	RAISED PLANTER AREA
2.10	14	L 5.3	TABLE GAMES OVER SYNTHETIC LAWN
2.11	13	L 5.3	BOCCE COURT OVER SYNTHETIC LAWN
2.12	15	L 5.3	VEHICLE GATE
2.13	–	–	BICYCLE RACK

(3.0) INERT LANDSCAPE MATERIALS

KEY	DTL.	SHEET	DESCRIPTION
3.0	–	–	SYNTHETIC LAWN
3.1	–	–	DECOMPOSED GRANITE GROUND COVER

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Artesia

Hardscape Plan - North End

Scottsdale Road & Indian Bend Road
Scottsdale, AZ | July 13, 2017

L 2.1

0 30 60 90 150
Scale : 1" = 30'-0" @ 24"x36"

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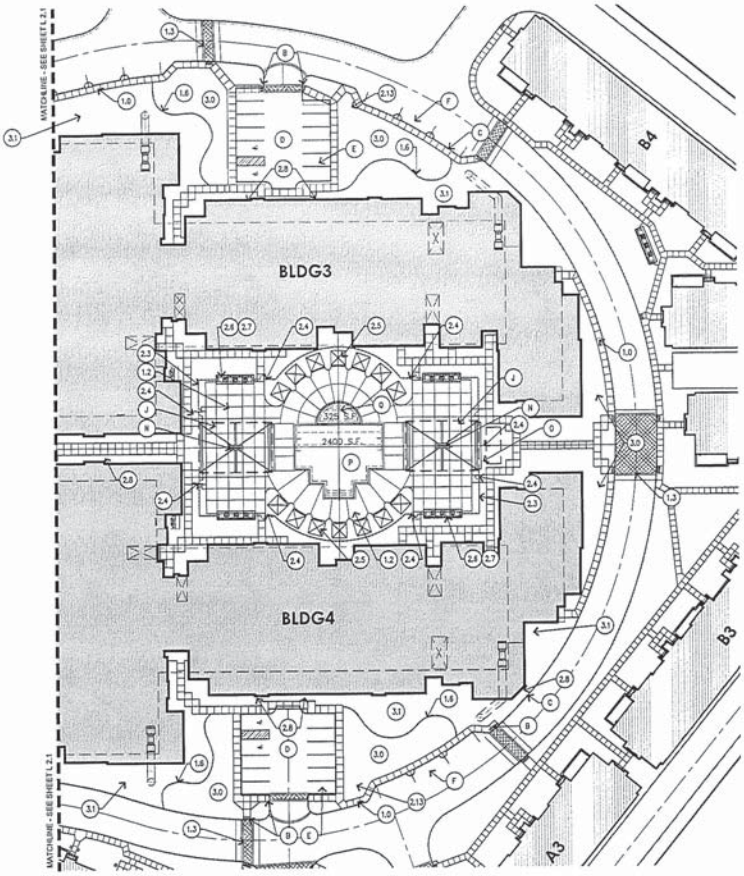

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H	ARCH.	ENTRY DRIVE SHADE STRUCTURE
I	ARCH.	RAIN CURTAIN FEATURE AT EXISTING ART
J	ARCH.	SHADE STRUCTURE AT POOL
K	ARCH.	SHADE STRUC. AT BBQ OUTDOOR KITCHEN
L	ARCH.	OUTDOOR KITCHEN
M	ARCH.	U SHAPE OUTDOOR PERFORMANCE KITCHEN
N	ARCH.	2-SIDED FIREPLACE AT SHADE STRUCTURE
O	ARCH.	POOL RESTROOMS
P	POOL CONT.	SWIMMING POOL WITH TRANSFER WALL
Q	POOL CONT.	DAM WALL SPA WITH TRANSFER WALL
R	EXISTING	RAMP DOWN TO VEHICLE GARAGE BELOW
S	EXISTING	REFUSE ENCLOSURE
T	EXISTING	VEHICULAR GATE

1.0 PAVING & FLATWORK

KEY	DTL.	SHEET	DESCRIPTION
1.0	–	–	STANDARD CONCRETE SIDEWALK
1.1	11	L 5.2	PEDESTRIAN ACCENT PAVING
1.2	10	L 5.2	POOL / PEDESTRIAN ACCENT PAVING
1.3	8	L 5.2	CROSSWALK: INTEGRALLY COLORED WASHED AGGREGATE CONCRETE WITH ACCENT PAVING STRETCHER COURSE
1.4	9	L 5.2	VEHICULAR ACCENT PAVING: INTEGRALLY COLORED WASHED AGGREGATE CONCRETE WITH ACCENT PAVING STRETCHER COURSE
1.5	1	L 2.3	RADIAL VEHICULAR ACCENT PAVING INTEGRALLY COLORED WASHED AGGREGATE CONCRETE WITH ACCENT PAVING STRETCHER COURSE
1.6	12	L 5.2	8" W. CONCRETE HEADER
1.7			EXTENDED REAR PATIO FOR THESE UNITS

2.0 SITE DETAILS

KEY	DTL.	SHEET	DESCRIPTION
2.0	–	–	FIRE & SHEER WATER CASCADE FEATURE
2.1	–	–	WATER WALL
2.2	–	–	'CELOSIA' VIEW WALL
2.3	5	L 5.1	POOL FENCE
2.4	6	L 5.1	POOL GATE
2.5	3	L 5.0	DAY CABANA
2.6	1	L 5.0	TRELLIS
2.7	2	L 5.0	BBQ WITH TRELLIS
2.8	–	–	HEDGE BUFFER
2.9	7	L 5.1	RAISED PLANTER AREA
2.10	14	L 5.3	TABLE GAMES OVER SYNTHETIC LAWN
2.11	13	L 5.3	BOCCE COURT OVER SYNTHETIC LAWN
2.12	15	L 5.3	VEHICLE GATE
2.13	–	–	BICYCLE RACK

3.0 INERT LANDSCAPE MATERIALS

KEY	DTL.	SHEET	DESCRIPTION
3.0	–	–	SYNTHETIC LAWN
3.1	–	–	DECOMPOSED GRANITE GROUND COVER

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Artesia

Hardscape Plan - South End

Scottsdale Road & Indian Bend Road
Scottsdale, AZ | July 13, 2017

L 2.2

0 30 60 90 150

Scale : 1" = 30'-0" @ 24"x36"

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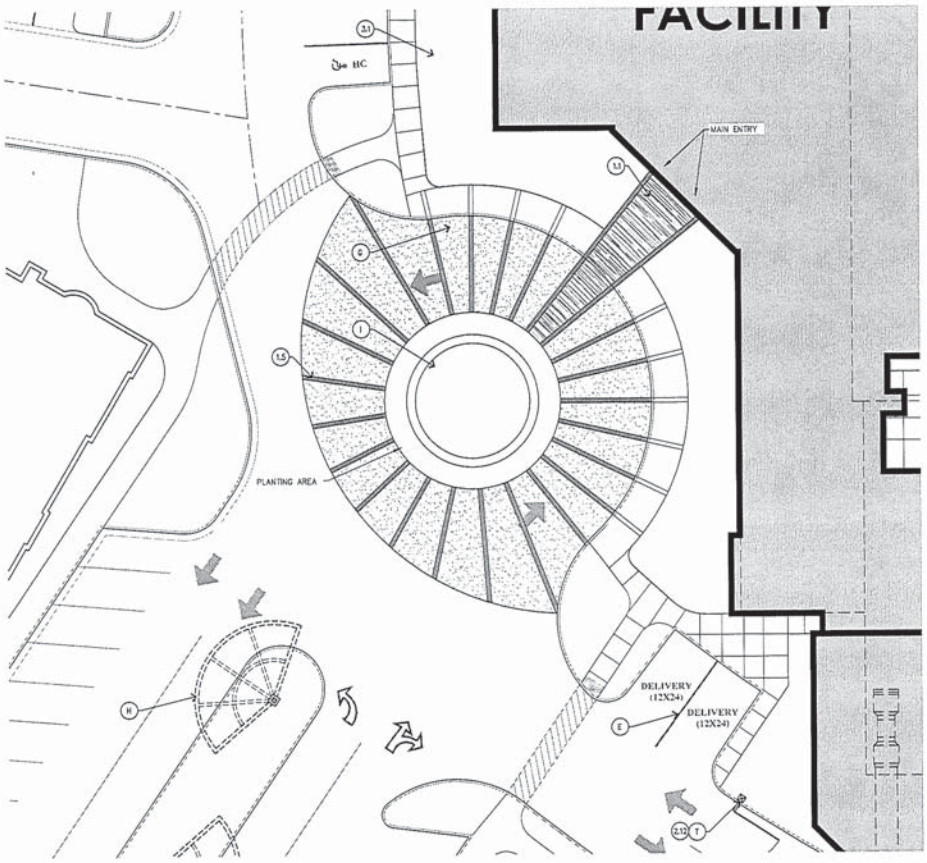

HARDSCAPE KEYNOTES

X EXISTING CONDITIONS / DISCIPLINE REFERENCE

KEY	DISCIPLINE	DESCRIPTION
A	CIVIL ENG.	SCOPE OF WORK
B	CIVIL ENG.	ACCESSIBLE CURB & RAMP
C	CIVIL ENG.	CONCRETE CURB & GUTTER
D	CIVIL ENG.	PARKING LOT
E	CIVIL ENG.	PARKING STALL
F	CIVIL ENG.	PARALLEL PARKING STALL
G	ARCH.	ENTRY SHADE TRELLIS
H	ARCH.	ENTRY DRIVE SHADE STRUCTURE
I	ARCH.	RAIN CURTAIN FEATURE AT EXISTING ART
J	ARCH.	SHADE STRUCTURE AT POOL
K	ARCH.	SHADE STRUC. AT BBQ OUTDOOR KITCHEN
L	ARCH.	OUTDOOR KITCHEN
M	ARCH.	U SHAPE OUTDOOR PERFORMANCE KITCHEN
N	ARCH.	2-SIDED FIREPLACE AT SHADE STRUCTURE
O	ARCH.	POOL RESTROOMS
P	POOL CONT.	SWIMMING POOL WITH TRANSFER WALL
Q	POOL CONT.	DAM WALL SPA WITH TRANSFER WALL
R	EXISTING	RAMP DOWN TO VEHICLE GARAGE BELOW
S	EXISTING	REFUSE ENCLOSURE
T	EXISTING	VEHICULAR GATE

1.0 PAVING & FLATWORK

KEY	DTL.	SHEET	DESCRIPTION
1.0	–	–	STANDARD CONCRETE SIDEWALK
1.1	11	L 5.2	PEDESTRIAN ACCENT PAVING
1.2	10	L 5.2	POOL / PEDESTRIAN ACCENT PAVING
1.3	8	L 5.2	CROSSWALK: INTEGRALLY COLORED WASHED AGGREGATE CONCRETE WITH ACCENT PAVING STRETCHER COURSE
1.4	9	L 5.2	VEHICULAR ACCENT PAVING: INTEGRALLY COLORED WASHED AGGREGATE CONCRETE WITH ACCENT PAVING STRETCHER COURSE
1.5	1	L 2.3	RADIAL VEHICULAR ACCENT PAVING INTEGRALLY COLORED WASHED AGGREGATE CONCRETE WITH ACCENT PAVING STRETCHER COURSE
1.6	12	L 5.2	6" W. CONCRETE HEADER
1.7			EXTENDED REAR PATIO FOR THESE UNITS

2.0 SITE DETAILS

KEY	DTL.	SHEET	DESCRIPTION
2.0	–	–	FIRE & SHEER WATER CASCADE FEATURE
2.1	–	–	WATER WALL
2.2	–	–	"CELOSIA" VIEW WALL
2.3	5	L 5.1	POOL FENCE
2.4	6	L 5.1	POOL GATE
2.5	3	L 5.0	DAY CABANA
2.6	1	L 5.0	TRELLIS
2.7	2	L 5.0	BBQ WITH TRELLIS
2.8	–	–	HEDGE BUFFER
2.9	7	L 5.1	RAISED PLANTER AREA
2.10	14	L 5.3	TABLE GAMES OVER SYNTHETIC LAWN
2.11	13	L 5.3	BOCCE COURT OVER SYNTHETIC LAWN
2.12	15	L 5.3	VEHICLE GATE
2.13	–	–	BICYCLE RACK

3.0 INERT LANDSCAPE MATERIALS

KEY	DTL.	SHEET	DESCRIPTION
3.0	–	–	SYNTHETIC LAWN
3.1	–	–	DECOMPOSED GRANITE GROUND COVER

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Hardscape Plan - Enlarged Plan at Vehicle Accent Paving

Scottsdale Road & Indian Bend Road
Scottsdale, AZ | July 13, 2017

L 2.3

0 10 20 30 50
Scale : 1" = 10'-0" @ 24"x36"

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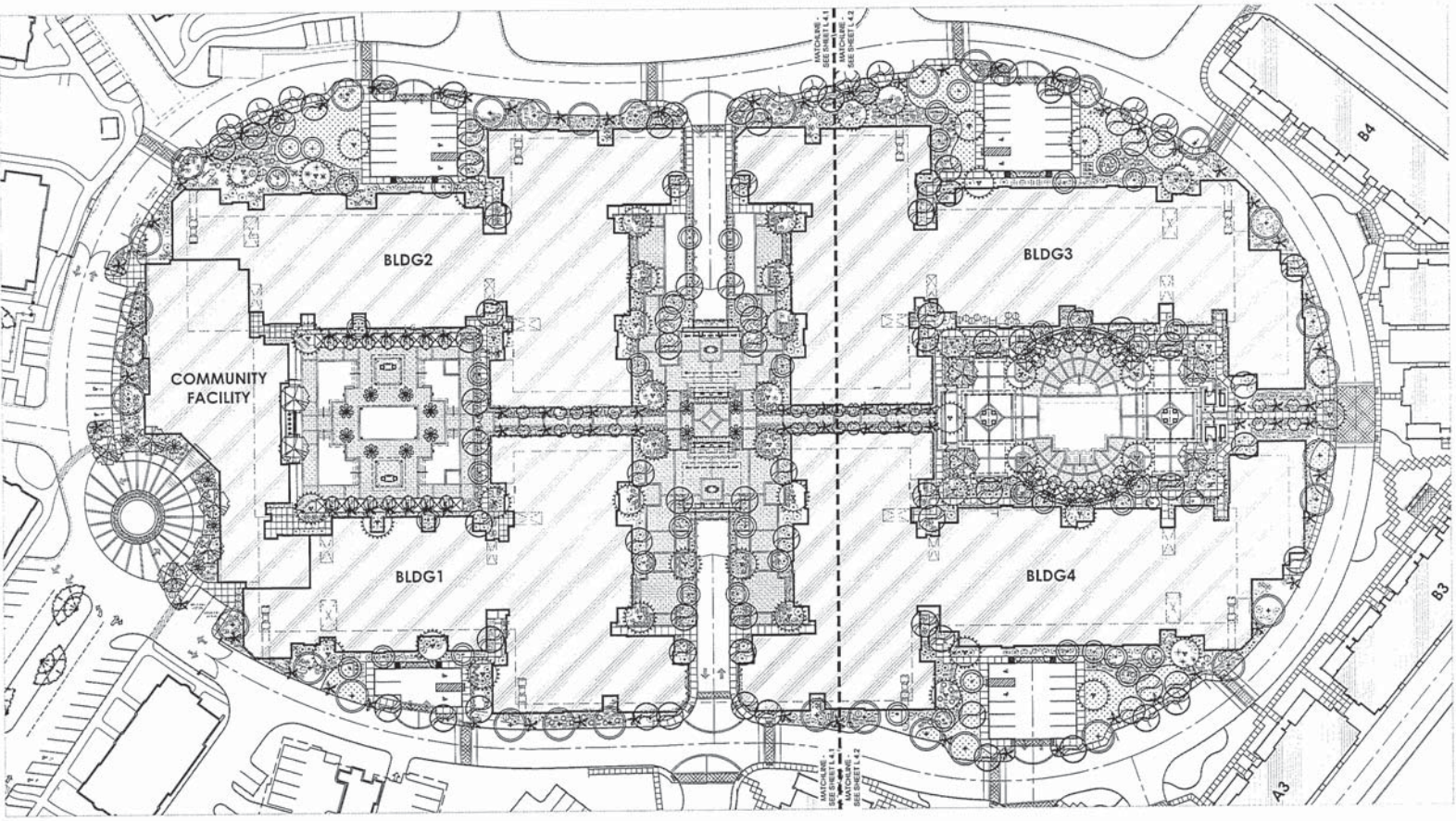

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Landscape Plan - Overall

Scottsdale Road & Indian Bend Road
Scottsdale, AZ July 13, 2017

L 4.0

0 30 60 90 150
Scale : 1" = 30'-0" @ 24"x36"

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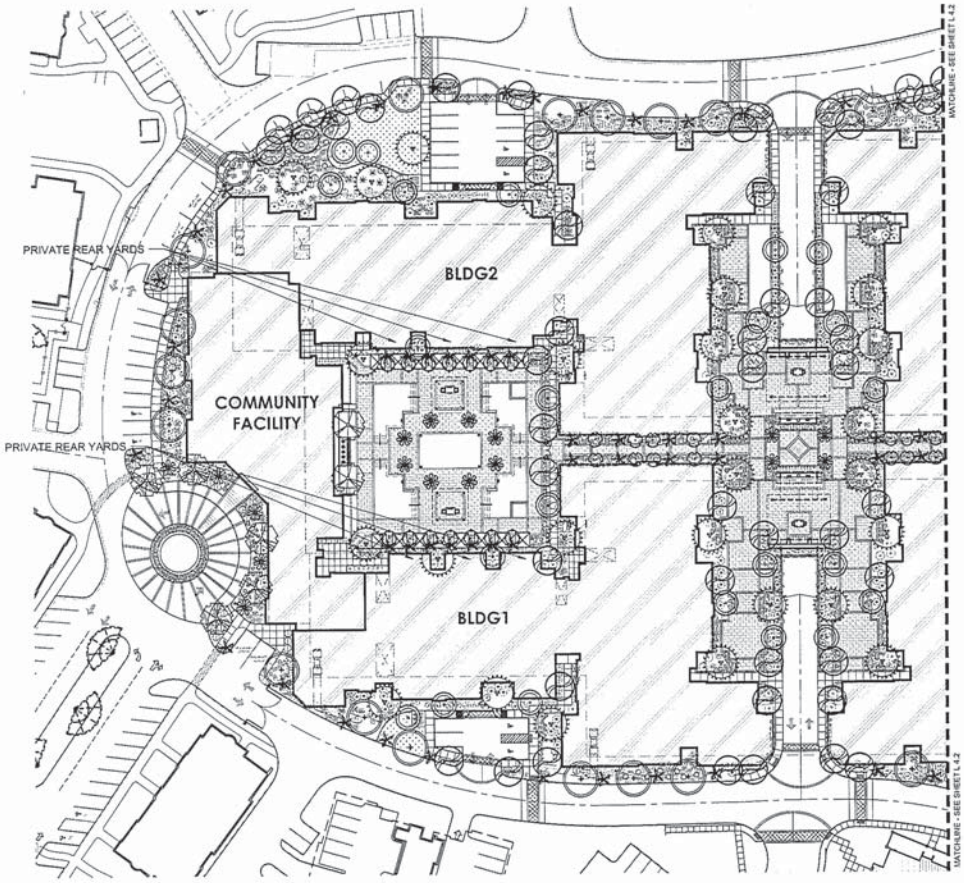

PLANTING LEGEND

SYMBOL	TREES	NOTES	SIZE	QTY
	Bauhinia congesta WHITE ORCHID TREE	STANDARD TRUNK	24" BOX	90
	Cercidium x "Desert Museum" DESERT MUSEUM PALO VERDE	STANDARD TRUNK	36" BOX	49
	Lyciumm microphylis x. thornberi FOXTAIL BUSH	STANDARD TRUNK	24" BOX	26
	Olneya tesota IRONWOOD	STANDARD TRUNK SELECT SPECIMEN	48" BOX	11
	Pinus Cembroides DWARF ISLAND PINE	STANDARD TRUNK	24" BOX	48
	Quercus virginiana "Heritage" HERITAGE LIVE OAK	STANDARD TRUNK	24" BOX	33
	Sophora secundiflora TEXAS MOUNTAIN LAUREL	STANDARD TRUNK	24" BOX	26
SYMBOL	PALM TREES	NOTES	SIZE	QTY
	Phoenix dactylifera DATE PALM	STANDARD TRUNK	20' HT.	28
	Washingtonia robusta FAN PALM	STANDARD TRUNK	12' HT.	81
SYMBOL	SHRUBS	NOTES	SIZE	QTY
	Caesalpinia pulcherrima RED BIRD OF PARADISE		5 GAL.	84
	Callandra californica BAJA FAIRY DUSTER		5 GAL.	43
	Callistemon viminalis x "Little John" DWARF BOTTLEBRUSH		5 GAL.	136
	Carissa grandiflora NATAL PLUM		5 GAL.	267
	Feijoa sellowiana PINEAPPLE GUAVA		5 GAL.	133
	Hibiscus rosa-sinensis HIBISCUS		5 GAL.	121
	Justicia spicigera MEXICAN HONEYSUCKLE		5 GAL.	88
	Leucophyllum frutescens GREEN CLOUD SAGE		5 GAL.	94
	Muhlenbergia rigens DEER GRASS		5 GAL.	57
	Myrtus communis "Compacta" DWARF MYRTLE		5 GAL.	177
	Ruellia peninsularis DESERT RUELLIA		5 GAL.	272
	Salvia greggii SALVIA		5 GAL.	59
	Tecoma stans YELLOW BELLS		5 GAL.	158
SYMBOL	ACCENTS & VINES	NOTES	SIZE	QTY
	Bougainvillea x "Barbara Karst" BOUGAINVILLEA		5 GAL.	58
	Chamaerops humilis MEDITERRANEAN FAN PALM		15 GAL.	56
	Euphorbia rigida SILVER SPURGE		5 GAL.	300
	Hardenbergia violacea PURPLE LILAC VINE		5 GAL.	27
	Hesperaloe parviflora "Brakelights" RED YUCCA		5 GAL.	52
	Phoenix roebelenii PIGMY DATE PALM		5 GAL.	20
	Rosmarinus officinalis ROSEMARY		5 GAL.	40
	Wisteria sinensis CHINESE WISTERIA		5 GAL.	4
SYMBOL	GROUNDCOVER	NOTES	SIZE	QTY
	Lantana camara "Gold Mound" GOLD MOUND LANTANA		1 GAL.	865
	Wedelia trilobata WEDELIA		1 GAL.	396
SYMBOL	SAN VICEN D PLANT MATERIAL	NOTES		
SYMBOL	OTHER LANDSCAPE MATERIAL	NOTES	QTY	
	Synthetic Lawn PIONEER "DARBY" TURF	WITH SPRINKLERS & DIG.	9,733 s.f.	
	DECOMPOSED GRANITE COLOR: "DESERT GOLD"	1/2" SCREENED	XX,XXX s.f.	

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Landscape Plan - North End

Scottsdale Road & Indian Bend Road
Scottsdale, AZ | July 13, 2017

L 4.1

0 30 60 90 150

Scale : 1" = 30'-0" @ 24"x36"

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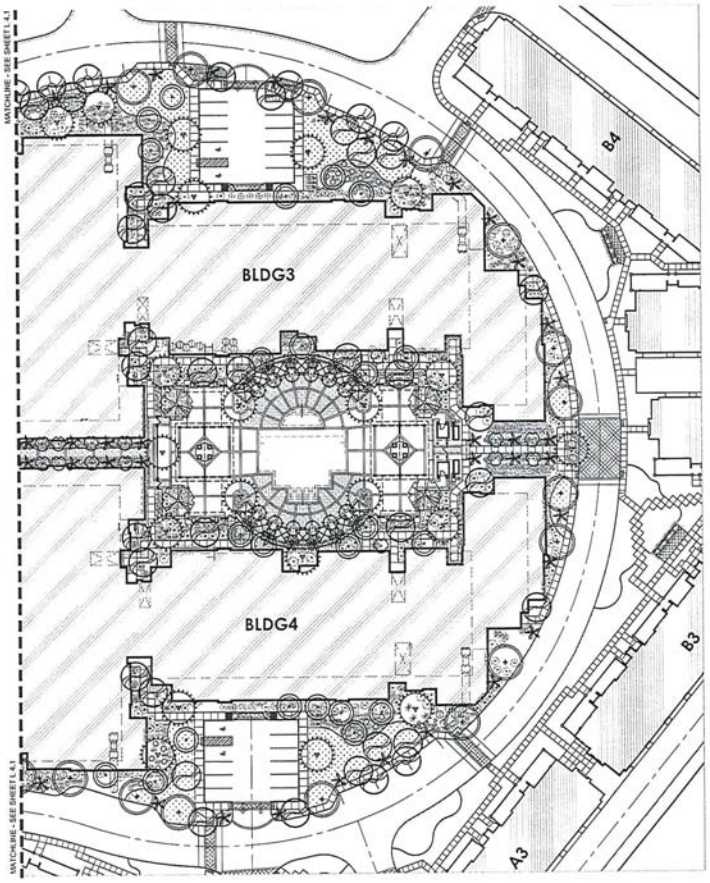

PLANTING LEGEND

SYMBOL	TREES	NOTES	SIZE	QTY
	Bauhinia congesta WHITE ORCHID TREE	STANDARD TRUNK	24" BOX	93
	Cercidium x "Desert Museum" DESERT MUSEUM PALO VERDE	STANDARD TRUNK	36" BOX	49
	Leucophyllum ambrosiacum "Rio Bravo" RIO BRAVO SAGE	STANDARD TRUNK	24" BOX	26
	Olneya tesota IRONWOOD	STANDARD TRUNK SELECT SPECIMEN	48" BOX	11
	Pinus Canariensis CANARY ISLAND PINE	STANDARD TRUNK	24" BOX	48
	Quercus virginiana "Heritage" HERITAGE LIVE OAK	STANDARD TRUNK	24" BOX	33
	Sophora secundiflora TEXAS MOUNTAIN LAUREL	STANDARD TRUNK	24" BOX	26

SYMBOL	PALM TREES	NOTES	SIZE	QTY
	Phoenix dactylifera DATE PALM	STANDARD TRUNK	20' HT.	29
	Washingtonia robusta FAN PALM	STANDARD TRUNK	12' HT.	91

SYMBOL	SHRUBS	NOTES	SIZE	QTY
	Caesalpinia pulcherrima RED BIRD OF PARADISE		5 GAL.	54
	Calliandra californica BAJA FAIRY DUSTER		5 GAL.	43
	Callistemon viminalis x "Little John" DWARF BOTTLEBRUSH		5 GAL.	136
	Carissa grandiflora NATAL PLUM		5 GAL.	267
	Feijoa sellowiana PINEAPPLE GUAVA		5 GAL.	133
	Hibiscus rosa-sinensis HIBISCUS		5 GAL.	121
	Justicia spicigera MEXICAN HONEYSUCKLE		5 GAL.	88
	Leucophyllum frutescens GREEN CLOUD SAGE		5 GAL.	94
	Muhlenbergia rigens DEER GRASS		5 GAL.	57
	Myrtus communis "Compacta" DWARF MYRTLE		5 GAL.	177
	Ruellia peninsularis DESERT RUELLIA		5 GAL.	272
	Salvia greggii SALVIA		5 GAL.	59
	Tecoma stans YELLOW BELLS		5 GAL.	159

SYMBOL	ACCENTS & VINES	NOTES	SIZE	QTY
	Bougainvillea x "Barbara Karst" BOUGAINVILLEA		5 GAL.	58
	Chamaerops humilis MEDITERRANEAN FAN PALM		15 GAL.	58
	Euphorbia rigida SILVER SPURGE		5 GAL.	302
	Hardenbergia violacea PURPLE LILAC VINE		5 GAL.	27
	Hesperaloe parviflora "Brakelights" RED YUCCA		5 GAL.	52
	Phoenix roebelenii PIGMY DATE PALM		5 GAL.	28
	Rosmarinus officinalis ROSEMARY		5 GAL.	40
	Wisteria sinensis CHINESE WISTERIA		5 GAL.	4

SYMBOL	GROUNDCOVER	NOTES	SIZE	QTY
	Lantana camara "Gold Mound" GOLD MOUND LANTANA		1 GAL.	885
	Wedelia trilobata WEDELIA		1 GAL.	396

SYMBOL	SALVAGED PLANT MATERIAL	NOTES

SYMBOL	OTHER LANDSCAPE MATERIAL	NOTES	QTY
	Synthetic Lawn PIONEER "DARBY" TURF	WITH SPRINKLERS AND D.C.	8,733 s.f.
	DECOMPOSED GRANITE COLOR: "DESERT GOLD"	1/2" SCREENED	XX,XXX s.f.

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Artesia

Landscape Plan - South End

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L 4.2

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Pinus Canariensis

Bauhinia congesta

Cercidium x 'Desert Museum'

Lysiloma microphylla v thornberi

Olneya tesota

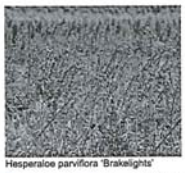
Phoenix dactylifera

Quercus virginiana

Sophora secundiflora

Washingtonia robusta

Shade Trees & Palm Trees


Hesperaloe parviflora 'Brakelights'

Bougainvillea 'Barbara Karst'

Caesalpinia pulcherima

Calliandra californica

Callistemon viminalis

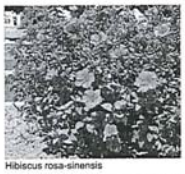
Carissa grandiflora

Chamaerops humilis

Euphorbia rigida

Feijoa sellowiana

Hardenbergia violacea


Hibiscus rosa-sinensis

Justicia spicigera

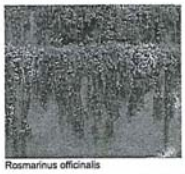
Lantana camara 'Gold Mound'

Leucophyllum frulescens 'Green Cloud'

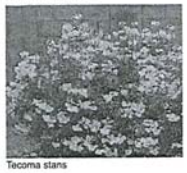
Muhlenbergia rigens

Myrtus communis

Phoenix roebelenii


Rosmarinus officinalis

Ruellia peninsularis


Tecoma stans

Wedelia triobata

Wisteria sinensis

Shrubs, Vines, Accents, and Groundcovers

'Desert Gold' Decomposed Granite

Pioneer 'Darby' Artificial Turf

Inert Landscape Materials

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Landscape Material & Imagery

Scottsdale Road & Indian Bend Road
Scottsdale, AZ | July 13, 2017

L 4.3

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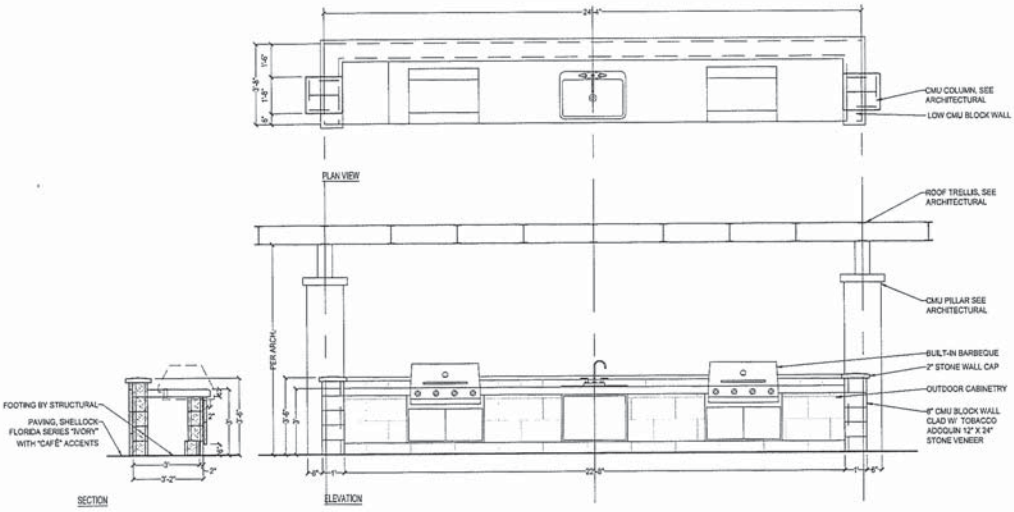


SW7020 Black Fox

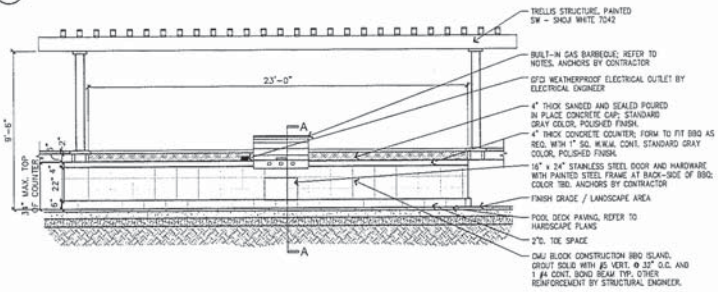
Material used at pool gate and fence posts, frames, and mesh panels. See details 6 & 7 on sheet L5.1 of this set.

SW7042 Shoji White

Material used at trellis structure. See detail 2 on sheet L5.0 of this set.

1 BARBEQUE TRELLIS

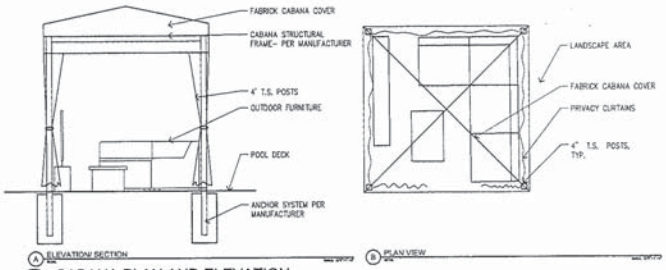
SCALE: 1/2"=1'-0"



2 TRIPLE BBQ AT KITCHEN AREA RAMADAS

DETAIL

SCALE: 3/8"=1'-0"



3 CABANA PLAN AND ELEVATION

DETAIL

SCALE: 3/8"=1'-0"

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Scottsdale Road & Indian Bend Road
Scottsdale, AZ | July 13, 2017

L 5.0

Design Details, Colors, & Materials

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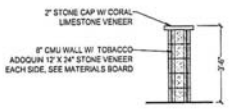
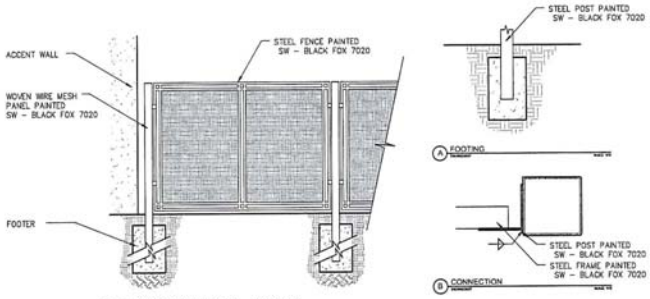


4 LOW WALL

SCALE: 1/2"=1'-0"

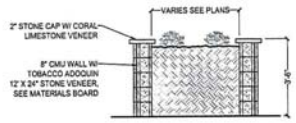


6 TYPICAL POOL FENCE

SCALE: 1/2"=1'-0"

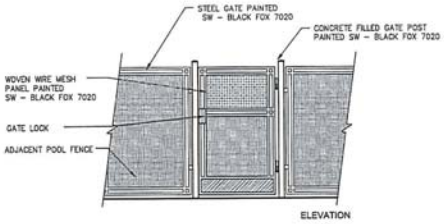
Coral Limestone

Material used at low walls and raised planter walls. See details 4 & 5 on sheet L5.1 of this set.



5 RAISED PLANTER WALLS

SCALE: 1/2"=1'-0"



7 POOL ENTRY GATE / SECURITY FENCE (TYP.)

SCALE: 1/2"=1'-0"

Tobacco Adoquin

Material used at BBQ trellis structure, low walls, and raised planter walls. See detail 1 on sheet L5.0 and details 4, and 5 on sheet L5.1 of this set.

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Artesia

Design Details, Colors, & Materials

Scottsdale Road & Indian Bend Road
Scottsdale, AZ | July 13, 2017

L 5.1

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16-DR-2017
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Shellock Paver - Atlantic
Ivory color

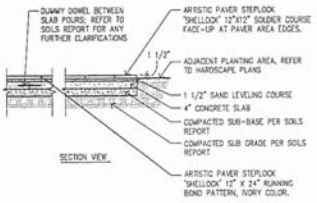
Shellock Paver - Atlantic
Cafe color

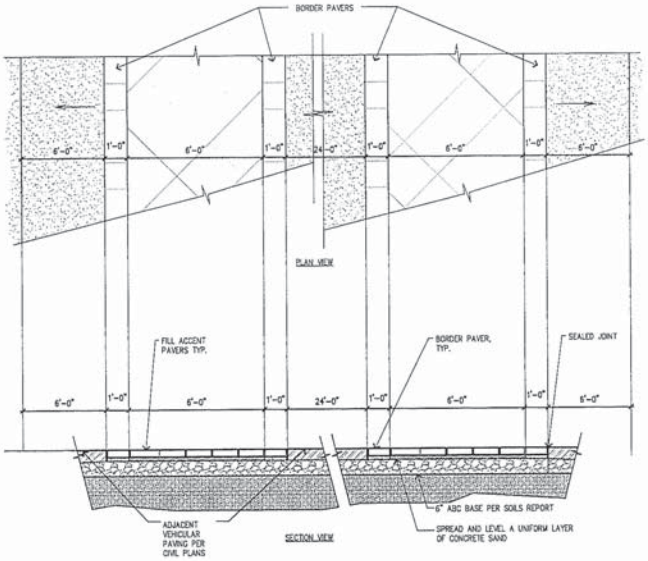
Shellock Paver material used at pool deck. See detail 10 on sheet L5.2 of this set.

Detailed image and overview perspective images are for reference and visualization only of paver application. Please refer to detail 10 on sheet L5.2 of this sheet.

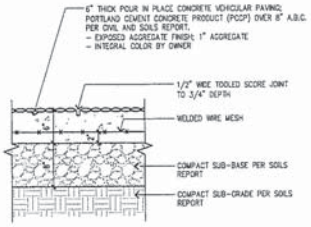
Shellock Paver detailed
image #1

Shellock Paver overview
perspective image #2

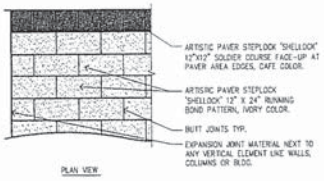




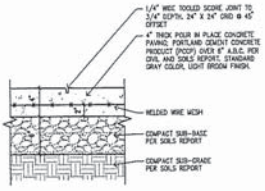
8 PEDESTRIAN CROSSWALKS
DETAIL
NTS



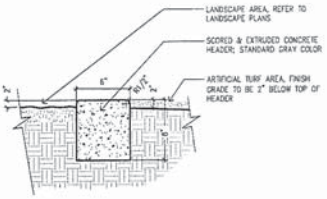
9 VEHICULAR ACCENT PAVING
DETAIL
SCALE: NTS



10 POOL ACCENT PAVERS
DETAIL
SCALE: NTS



11 PEDESTRIAN ACCENT PAVING
DETAIL
SCALE: NTS



NOTES:

A. EXPANSION JOINT @ 15'-0" O.C. W/ 24" #3 REBAR LINKING THE SEPARATE POURS. GREASE ONE END OF THE BAR.

B. SCORE JOINTS @ 5' O.C.

12 CONCRETE HEADER
DETAIL
SCALE: NTS

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L 5.2

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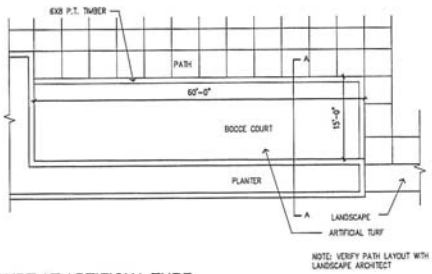
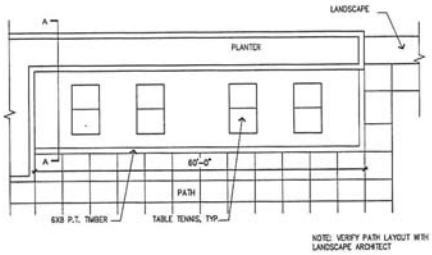
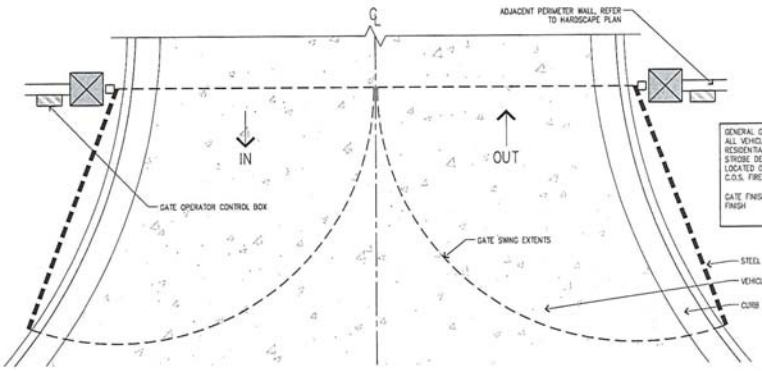


13 BOCCE COURT AT ARTIFICIAL TURF
DETAIL
SCALE: NTS

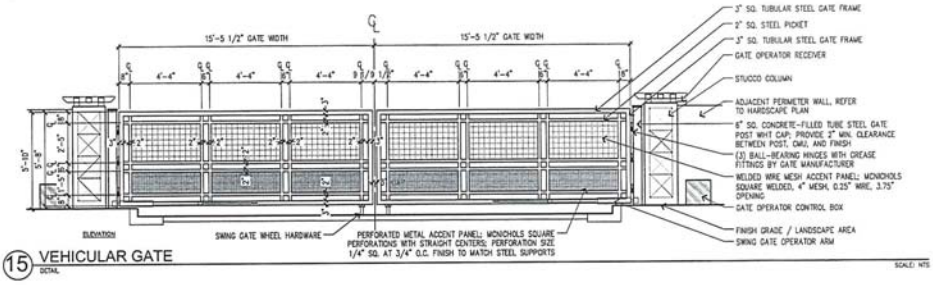


14 TABLE GAMES AT ARTIFICIAL TURF
DETAIL
SCALE: NTS



GENERAL GATE NOTES:
ALL VEHICULAR GATES ENTERING AND EXITING RESIDENTIAL AREAS SHALL BE EQUIPPED WITH STROBE DETECTION AND A KNOX BOX KEY SWITCH LOCATED ON A PEDESTAL IN COMPLIANCE WITH THE C.O.S. FIRE ORDINANCE SECTION 503.6.1.

GATE FINISH: ALL METAL MEMBERS W/ POWDER FINISH



15 VEHICULAR GATE
DETAIL
SCALE: NTS

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L 5.3

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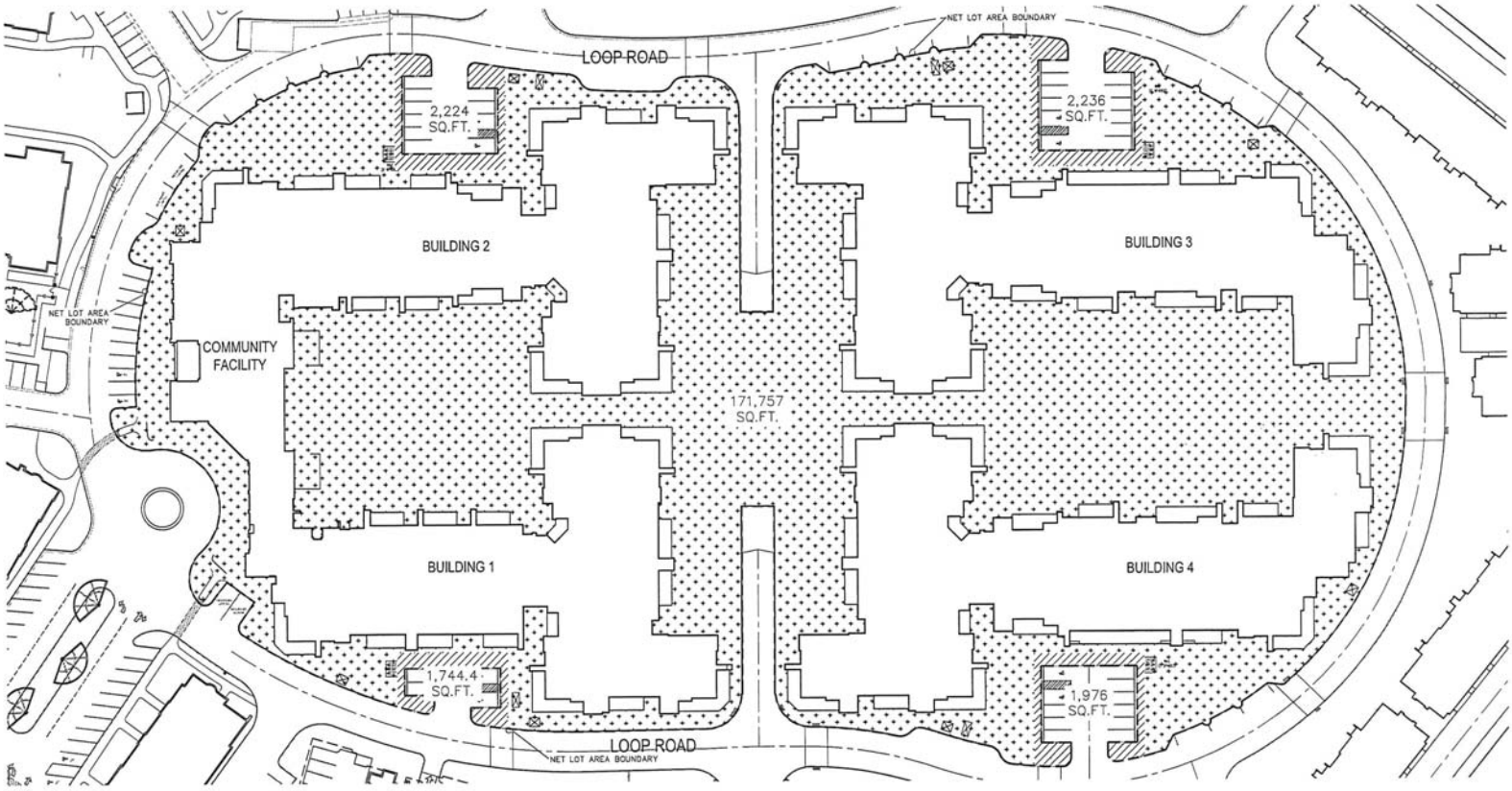

REQUIRED OPEN SPACE CALCULATIONS:

NET LOT AREA (PA-1): 361,843 s.f.
MAX. BUILDING HEIGHT: 50'-0"

FIRST 12' OF HEIGHT: = 10% x NET LOT AREA
= 0.10 x 361,843 = 36,184 s.f.
NEXT 38' OF HEIGHT: = 38' x .004 x 361,843 = 55,000 s.f.

OPEN SPACE REQUIRED
(NOT INCLUDING PARKING LOT LANDSCAPING)

= 36,184 + 55,000 = 91,184 s.f. (~25%) REQUIRED
= 171,757 s.f. (~47%) PROVIDED

PARKING LOT LANDSCAPING REQUIRED CALCULATIONS:

PARKING LOT AREA x 15%

13,135.3 s.f. x 0.15 = 1,970.3 s.f. REQUIRED
= 8,180.4 s.f. PROVIDED

RIGHT-OF-WAY LANDSCAPING REQUIRED:

RIGHT-OF-WAY LANDSCAPING IS NOT APPLICABLE AS NO PUBLIC RIGHTS-OF-WAY EXIST WITHIN THE SCOPE OF THIS PROJECT

PARKING LOT LANDSCAPING
8,180.4 SQ.FT. PROVIDED

OPEN SPACE OTHER THAN FRONTAL OPEN SPACE
171,757.0 SQ.FT. PROVIDED

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Open Space Calculation Plan

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L 6.0

0 30 60 90 150
Scale : 1" = 30'-0" @ 24"x36"

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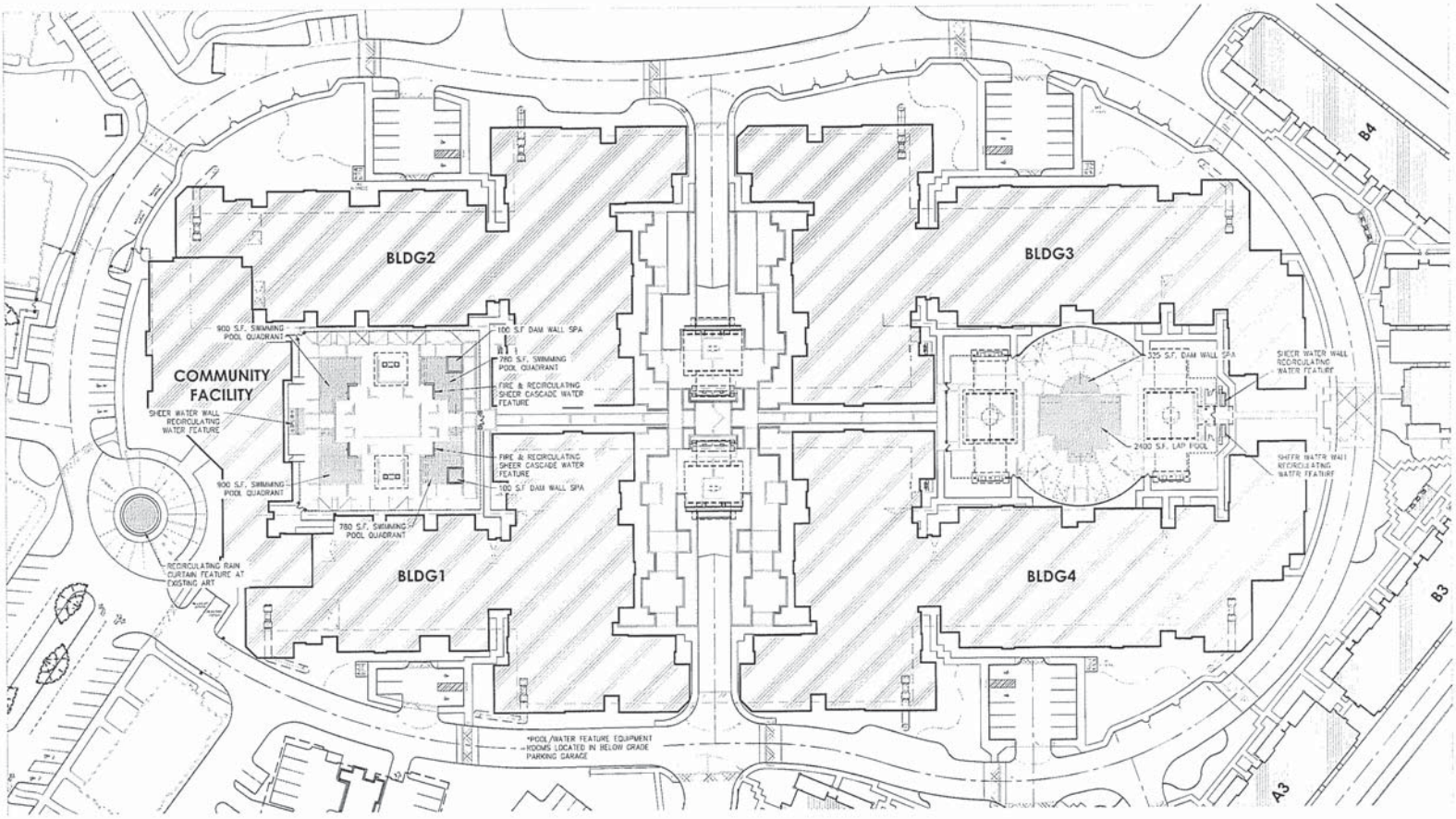

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Water Feature Plan

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L 7.0

0 30 60 90 150

Scale : 1" = 30'-0" @ 24"x36"

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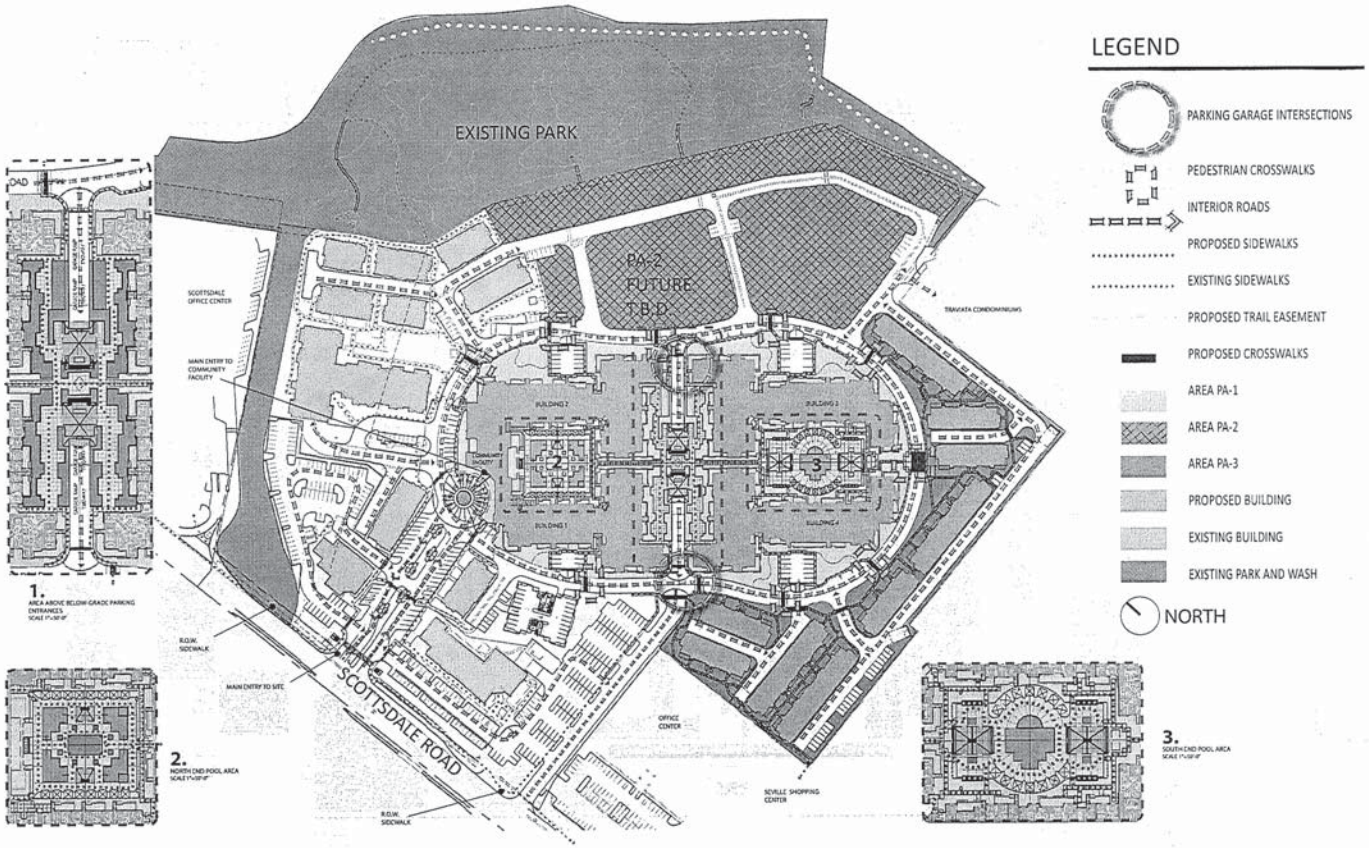

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Pedestrian Circulation Plan

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L 8.0

0 80 160 240 400

Scale : 1" = 80'-0" @ 24"x36"

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16-DR-2017
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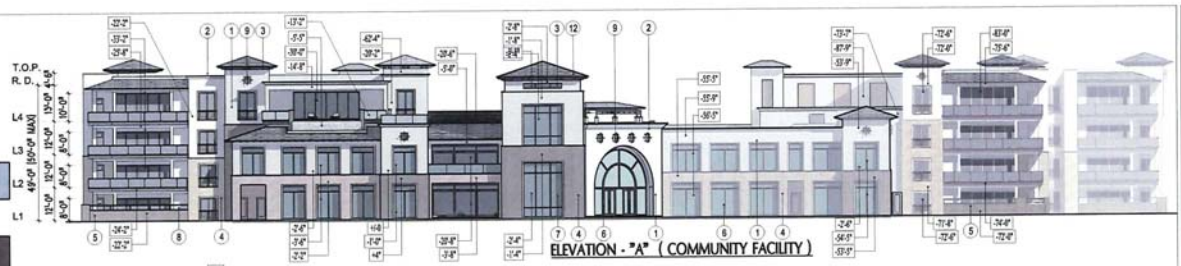
24 X 36

COLOR MATERIALS

1	Building - Wall Building - Veranda Edge Building - Wall Niche	
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry	
3	Dbl Corbels w/ trim brd. behind Rafter Tail	
4	Stone - Building Wall Stone - Building Wall	
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap	
6	Window / Door - Resd'l. Units Window / Door - Comm. Facility	
7	Glazing - Door & Window	
8	Railing	
9	Porte Cochere Accent Grille	
10	Building Lighting	
11	Roof - Flat	
12	Roof - Flat Tile	



ELEVATION - "A" (COMMUNITY FACILITY)

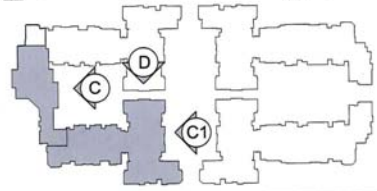
ELEVATION - "C" (COMMUNITY FACILITY)

ELEVATION - "C" (COMMUNITY FACILITY)

ELEVATION - "B" (COMMUNITY FACILITY/BLDG 1)

SCALE : 1/16" = 1'-0"

ELEVATION - "D" (BLDG 1)



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DRB SUBMITTAL 06-26-17

ARCHITECT:

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REGISTERED ARCHITECT
CERTIFICATE NO.
23011
GREG S. BUCILLA
ARIZONA, U.S.A.

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	063117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS BUILDING 1 AND COMMUNITY FACILITY

Sheet No. :

A-1.10

16-DR-2017
7/13/17

24 X 36

COLOR MATERIALS

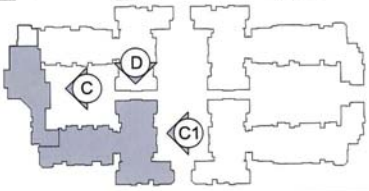
1	Building - Wall Building - Veranda Edge Building - Wall Niche	
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry	
3	Dbl Corbels w/ trim brd. behind Rafter Tail	
4	Stone - Building Wall Stone - Building Wall	
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap	
6	Window / Door - Resdl'l. Units Window / Door - Comm. Facility	
7	Glazing - Door & Window	
8	Railing	
9	Porte Cochere Accent Grille	
10	Building Lighting	
11	Roof - Flat	
12	Roof - Flat Tile	

ELEVATION - "A" (COMMUNITY FACILITY)

ELEVATION - "C" (COMMUNITY FACILITY)

ELEVATION - "C" (COMMUNITY FACILITY)

ELEVATION - "B" (COMMUNITY FACILITY/BLDG 1)



0 16' 48'

SCALE : 1/16" = 1'-0"

ELEVATION - "D" (BLDG 1)

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DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
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REGISTERED ARCHITECT
CERTIFICATE NO. 53031
JAMES E. BUCILLA
ARIZONA, U.S.A.

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	062117	DRB SUBMITTAL

PERMIT NO.
BD SUBM. DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS BUILDING 1 AND COMMUNITY FACILITY

Sheet No. :

A-1.10A

16-DR-2017
7/13/17

24 X 36

COLOR MATERIALS

1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
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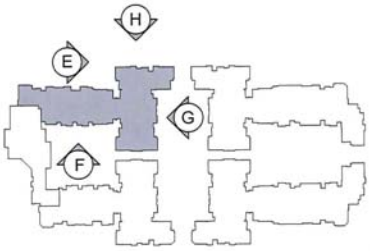
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile

ELEVATION - "H" (BUILDING 2)

ELEVATION - "F" (BUILDING 2)

ELEVATION - "G" (BUILDING 2)

ELEVATION - "E" (BUILDING 2)



0 16' 48'

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE INCORPORATED

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING

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TEL. 949 831 9000 FAX. 949 423 0984

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REGISTERED ARCHITECT
CERTIFICATE NO. 53611
JAMES A. BUCILLA, III
ARIZONA, U.S.A.

EXPIRES 06/30/2018

ATTEST TRANSMITTAL ONLY

Project :

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7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO.
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS
BUILDING 2

Sheet No. :

A-2.10

16-DR-2017
7/13/17

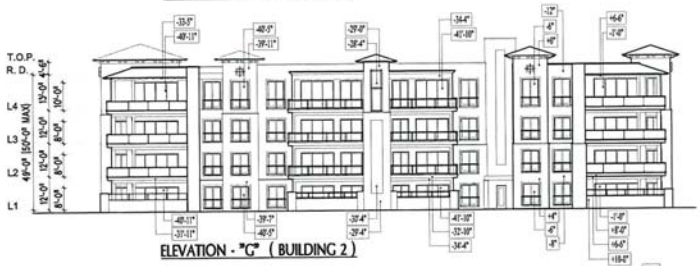
24 X 36

COLOR MATERIALS

1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resdt'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile

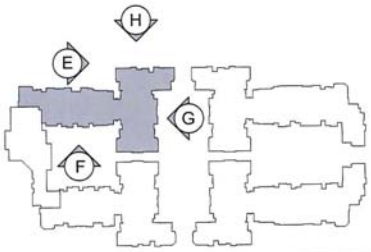
ELEVATION - "H" (BUILDING 2)

ELEVATION - "F" (BUILDING 2)



ELEVATION - "G" (BUILDING 2)

ELEVATION - "E" (BUILDING 2)



0 16' 48'

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
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SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

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CERTIFICATE NO. 33611
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ARIZONA U.S.A.
EXPIRES 06/30/2018

ARTWORK FOR CONSTRUCTION ONLY

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SCOTTSDALE , ARIZONA

Owner:

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SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	063017	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS
BUILDING 2

Sheet No. :

A-2.10A

16-DR-2017
7/13/17

24 X 36

COLOR MATERIALS

1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
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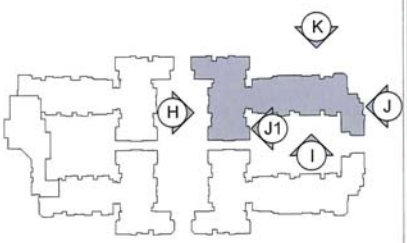
6	Window / Door - Resdt'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile

ELEVATION - "G" (BUILDING 2)



ELEVATION - "I" (BUILDING 3)

ELEVATION - "J" (BUILDING 3)

ELEVATION - "J1" (CBUILDING 3)

SCALE : 1/16" = 1'-0"

ELEVATION - "K" (BUILDING 3)

PROJECT ADDRESS :
7101 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-20-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE INCORPORATED

Architecture Planning Interior Design
Historic Preservation Life Value Engineering

10782 Mira Mesa Blvd., Suite 210, Ancon Ca 92012
TEL 858 831 8000 FAX 858 622 0994

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO. 33011
GREG S. BUCILLA
ARIZONA, U.S.A.

EXPIRES 06/30/2018

Project :

ARTESIA
7101 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM. DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS BUILDING 3

Sheet No. :

A-3.10

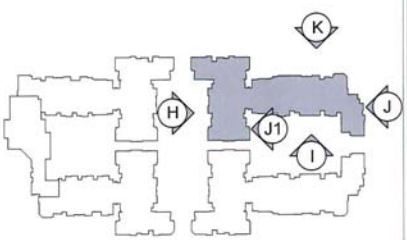
16-DR-2017
7/13/17

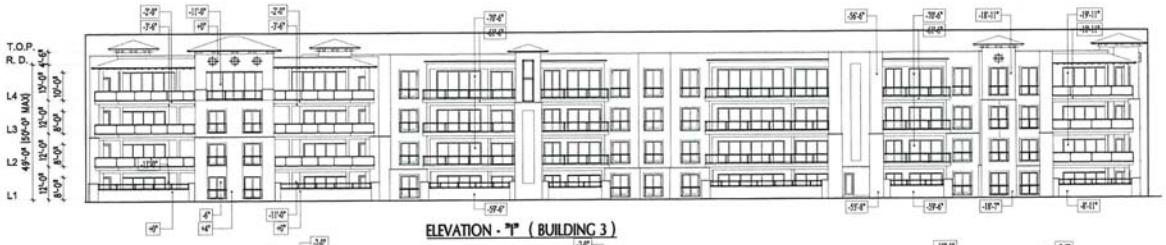
24 X 36

COLOR MATERIALS

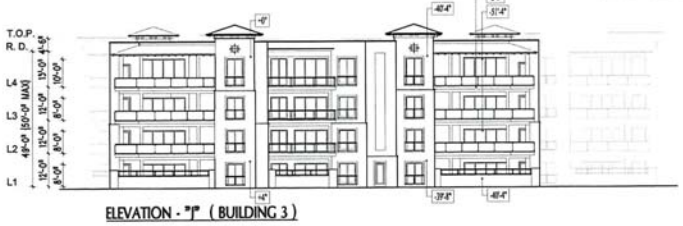
1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resd'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile

ELEVATION - "H" (BUILDING 3)

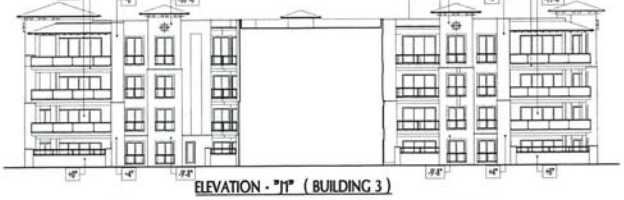




ELEVATION - "I" (BUILDING 3)



ELEVATION - "J" (BUILDING 3)



ELEVATION - "J1" (BUILDING 3)

ELEVATION - "K" (BUILDING 3)

0 16' 48'

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

Architecture Planning Interior Design
Historic Preservation Life Value Engineering

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO.
ARIZONA, U.S.A.

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS BUILDING 3

Sheet No. :

A-3.10A

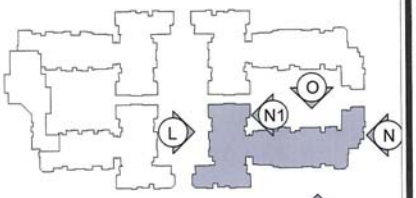
16-DR-2017
7/13/17

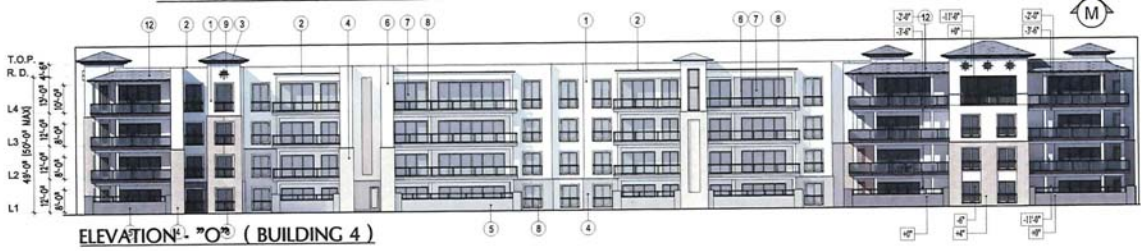
24 X 36

COLOR MATERIALS

1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resdt'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile

ELEVATION - "G" (BUILDING 4)





ELEVATION - "O" (BUILDING 4)

ELEVATION - "N" (BUILDING 4)

ELEVATION - "N1" (CBUILDING 4)

ELEVATION - "M" (BUILDING 4)

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 05-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO. 53611
JAMES S. BUCILLA III
ARIZONA U.S.A.

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS BUILDING 4

Sheet No. :

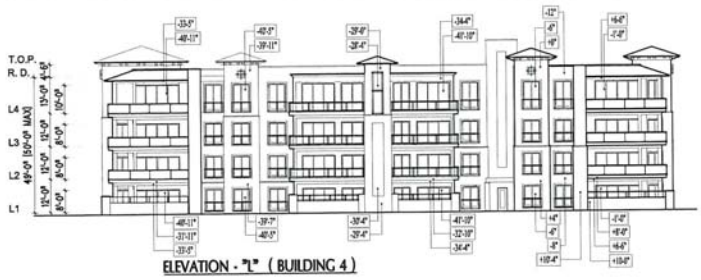
A-4.10

16-DR-2017
7/13/17

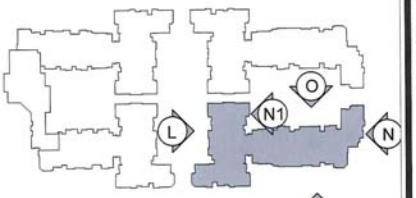
24 X 36

COLOR MATERIALS

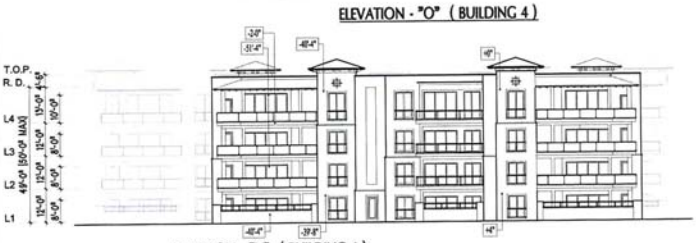
1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resdt'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile



ELEVATION - "L" (BUILDING 4)



ELEVATION - "O" (BUILDING 4)



ELEVATION - "N" (BUILDING 4)

ELEVATION - "N1" (CBUILDING 4)

ELEVATION - "M" (BUILDING 4)

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

Architecture Planning Interior Design
Historic Preservation Land Value Engineering

16782 Von Karman Blvd., Suite 270, Irvine, Ca 92612
TEL 949 851 9080 FAX 949 423 0084

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO.
23011
BRIAN K. BUCILLA
ARIZONA, U.S.A.

EXPIRES 06/30/2018

PRELIMINARY NOT FOR CONSTRUCTION, BIDDING OR PERMIT

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	063117	DRB SUBMITTAL

PERMIT NO.
BD SUBM. DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

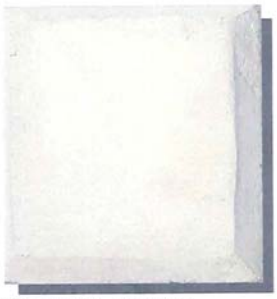
BUILDING ELEVATIONS BUILDING 4

Sheet No. :

A-4.10A

16-DR-2017
7/13/17

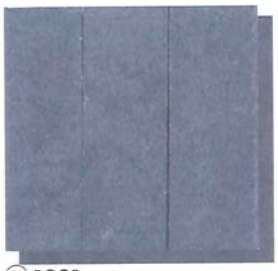
24 X 36



(2) STUCCO - BUILDING

(6) DOOR TRIM

(6) WINDOW TRIM



(11) ROOF

(4)

(4)(5)

(1)(3) ACCENT
- VERANDA EDGE
- CORBELS & TRIM BOARD
- PORTE COCHERE METAL FRAMING
- W.I. ACCENT

(4) STONE VENEER - LITE
- BUILDING VENEER
- PORTE COCHERE COLUMNS

(4)(5) STONE VENEER - DARK
- BUILDING VENEER
- GARDEN WALLS

COLOR NOTE:
COLORS MAY VARY FROM ACTUAL MATERIAL DUE TO SCREEN AND OR PRINTER SETTINGS FROM SYSTEM TO SYSTEM.

PA-1
COLOR MATERIALS

0 16'
SCALE : 3/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

Architecture Planning Interior Design
Historic Preservation Land Value Engineering

STAMP

REGISTERED ARCHITECT CERTIFICATE
03811
DENIS E. BUCILLA III
ARIZONA, U.S.A.
EXPIRES 06/30/2018

ATTEST TO ARCHITECTURAL ONLY

Project:
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	052117	DRB SUBMITTAL

PERMIT NO
BD SUBM. DATE
PLOT DATE

Project Number
BGA No. 15029

Sheet Title
COLOR MATERIALS

Sheet No.
CM-1.0

16-DR-2017
7/13/17

24 X 36

RESIDENTIAL

COMMUNITY FACILITY

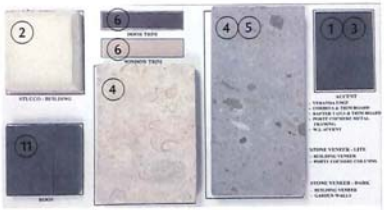
0 16'

SCALE : 3/16" = 1'-0"

COLOR & MATERIAL SUMMARY

1	Building - Wall Building - Veranda Edge Building - Wall Niche	16-20 & Smooth Stucco (specific locations) SW - Sheep White 7042 Smooth Stucco SW - Black Fox 7020 16 - 20 Stucco Finish SW - Beach House 7518 (Berge)
2	Fascia Foam - Residential Veranda Fascia Foam - Community Facility Foam	Foamstone - 12"x12" Profile SW - Sheep White 7042 Foamstone - 24"x24" Profile SW - Sheep White 7042
3	DH Corbels with trim board behind Rafter Tail	10"w x 16"d Profile (Wood or Foam Alt) SW - Black Fox 7020 6"w x 6"d Profile (Wood or Foam Alt) SW - Black Fox 7020
4	Stone - Building Wall Stone - Building Wall	Coquina Limestone - sanded 12"x24" veneer with 2" stone cap Blanco Lemon Cantera 12"x24" veneer with 2" stone cap
5	Stone - Garden Walls with stone cap Stone - Porte Cochere with stone cap	Coquina Limestone - sanded 12"x24" veneer with 2" stone cap Blanco Lemon Cantera 12"x24" veneer with 2" stone cap
6	Window / Door - Residential Units Window / Door - Community Facility	Vinyl - Beige Frame Vinyl - Dark Bronze Frame (at specific CF locations only)
7	Glazing - Door and Window	Solatron - Low E LSG - low solar gain with EWC criteria Residential - Vinyl U Factor 0.31 - SHGC 0.23 Community Facility - Vinyl U Factor 0.40 - SHGC 0.25
8	Railing	1. Glazing Panel Module produced SW - Black Fox 7020 2. Mesh Panel Module produced SW - Black Fox 7020
9	Porte Cochere Accent Grille	8x8 steel column with trim surrounding frame SW - Black Fox 7020 47"x42"x1" metal frame SW - Black Fox 7020
10	Building Lighting	1. Entry / Exits / Verandas LED Pancake Box lighting 2. Bldg Corner Elements LED vertical strip lighting 3. Porte Cochere Post OS Axis LED horizontal strip lighting
11	Roof - Flat	1. Raised Paver Rooftop Life Tech Pavers - Coral Design 2. Mech Rooftop GAF - Cool Roof
12	Roof - Flat Tile	Dental - Serenity 900 Slate / Stone Mountain Blend

BUILDING FINISHES



PA-1

WALL ELEVATIONS & DETAILS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BGA INCORPORATED
BUCILLA GROUP ARCHITECTURE
ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LAND VALUE ENGINEERING

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO. 32611
JAMES E. BUCILLA
ARIZONA, U.S.A.
EXPIRES 06/30/2018

ARTESIA DEVELOPMENT PARTNERS, LLC

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	051117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

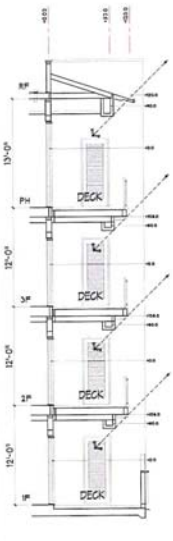
Project Number
BGA No. 15029

Sheet Title :
WALL ELEVATIONS & BUILDING MATERIALS

Sheet No. :
SP-4.0

16-DR-2017
7/13/17

24 X 36



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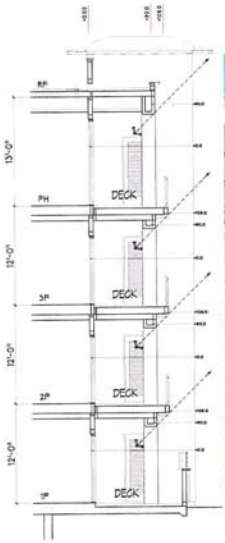

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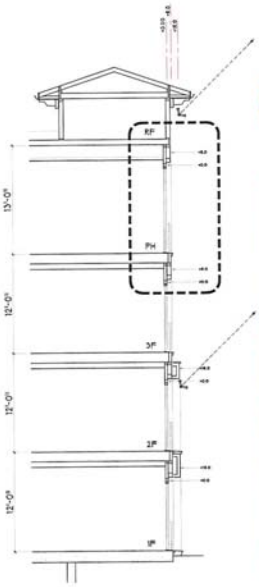
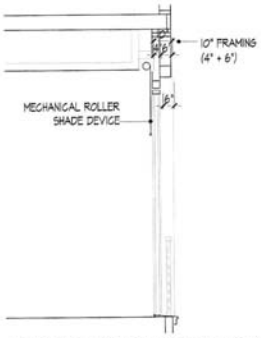


C

STANDARD WALL THICKNESS & RECESS

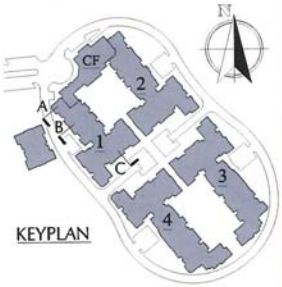
- 50% OF 10" = 5"
- 30% OF 10" = 3"



TYPICAL DOOR/WINDOW SECTION

RESIDENTIAL

PA-1
WALL ELEVATIONS
& DETAILS



KEYPLAN

0 16'
SCALE : 3/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

16-DR-2017
7/13/17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

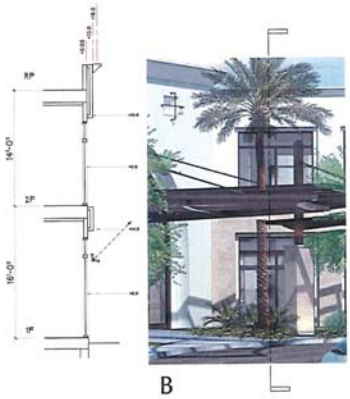
Project Number
BGA No. 15029

Sheet Title :
RESIDENTIAL
WALL ELEVATIONS
& DETAILS

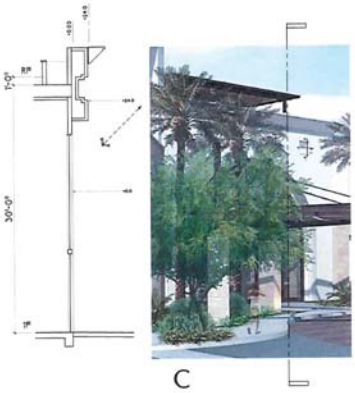
Sheet No. :
SP-4.1

24 X 36

A



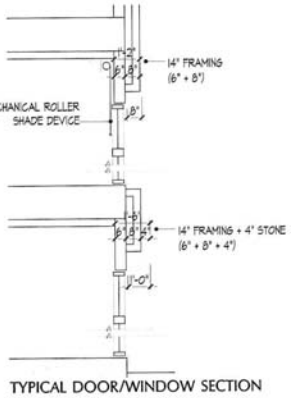
B



C

STANDARD WALL THICKNESS & RECESS

- 50% OF 14" = 7"
- 30% OF 14" = 5"



TYPICAL DOOR/WINDOW SECTION

0 16'

SCALE : 3/16" = 1'-0"

COMMUNITY FACILITY

PA-1
WALL ELEVATIONS
& DETAILS

KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE INCORPORATED

Architecture Planning Interior Design
Historic Preservation Leed Value Engineering

10702 West Arthur Blvd., Suite 270, Avondale, Az 85392
TEL 949 361 5880 FAX 949-623-0994

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO.
23011
BRIAN G. BUCILLA
ARIZONA, U.S.A.

EXPIRES 06/30/2018

APPLIES TO ARCHITECTURAL ONLY

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	052417	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

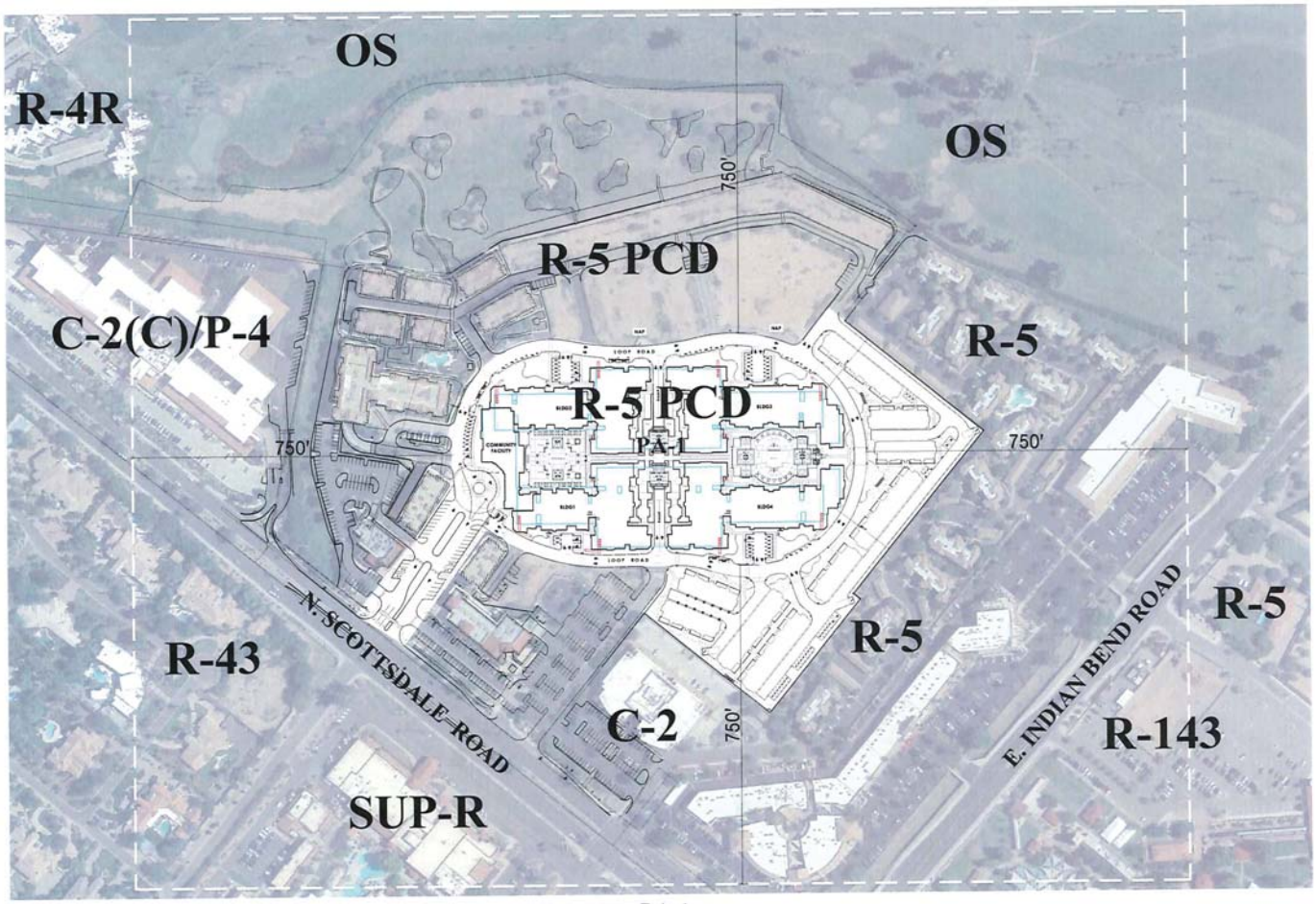
COMM. FACILITY
WALL ELEVATIONS
& DETAILS

Sheet No. :

SP-4.2

16-DR-2017
7/13/17

24 X 36



0 100' 300'
SCALE : 1" = 100'-0"

PA-1
CONTEXT AERIAL

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	062117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

PA-1 / PA-3
CONTEXT AERIAL
PLAN

Sheet No. :

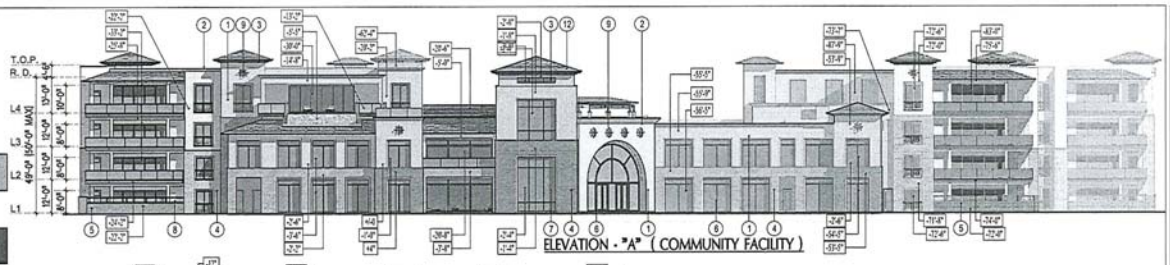
SP-2.0

16-DR-2017
7/13/17

24 X 36

COLOR MATERIALS

1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resdt'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile

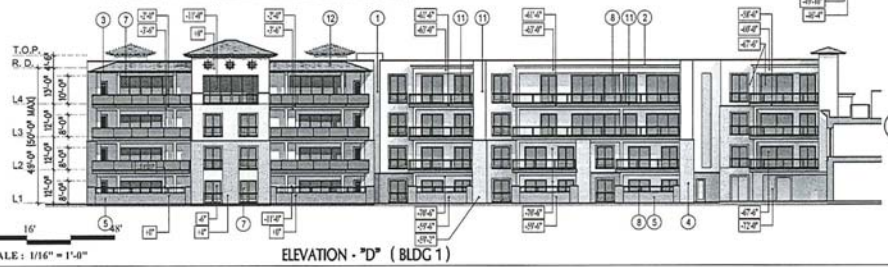


ELEVATION - "A" (COMMUNITY FACILITY)

ELEVATION - "C" (COMMUNITY FACILITY)

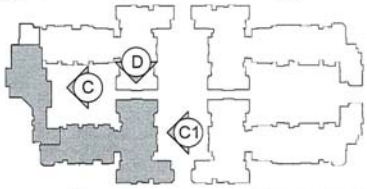
ELEVATION - "C" (COMMUNITY FACILITY)

ELEVATION - "B" (COMMUNITY FACILITY/BLDG 1)



SCALE : 1/16" = 1'-0"

ELEVATION - "D" (BLDG 1)



PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE INCORPORATED

ARCHITECTURE · PLANNING · INTERIORS
EXTERIOR RENOVATION · LEED VALUE ENGINEERING

STAMP

REGISTERED ARCHITECT
CERTIFICATE HOLDER
BRUCE E. BUCILLA, JR.
ARIZONA, U.S.A.
EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	063117	DRB SUBMITTAL

PERMIT NO.
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS
BUILDING 1 AND
COMMUNITY FACILITY

Sheet No. :

A-1.10

16-DR-2017
7/13/17

24 X 36

COLOR MATERIALS

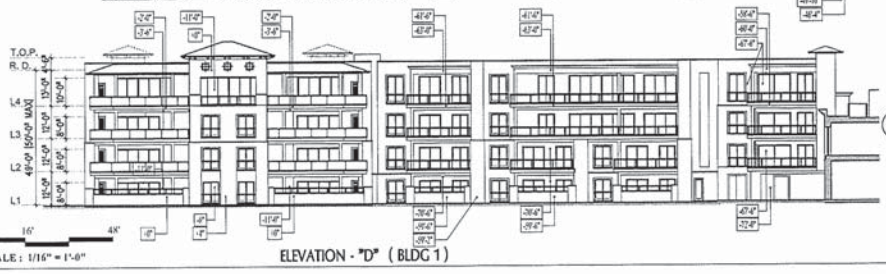
1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resid'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile

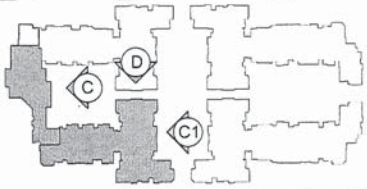
ELEVATION - "A" (COMMUNITY FACILITY)

ELEVATION - "C" (COMMUNITY FACILITY)

ELEVATION - "C" (COMMUNITY FACILITY)

ELEVATION - "B" (COMMUNITY FACILITY/BLDG 1)





0 16' 48'

SCALE : 1/16" = 1'-0"

ELEVATION - "D" (BLDG 1)

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO. 53011
MARK G. BUCILLA
ARIZONA U.S.A.
EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	06/21/17	DRB SUBMITTAL

PERMIT NO.
BD SUBM. DATE
PLOT DATE

Project Number :

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS
BUILDING 1 AND
COMMUNITY FACILITY

Sheet No. :

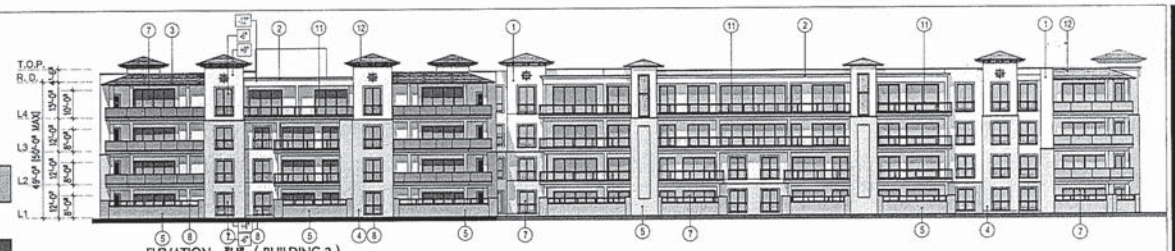
A-1.10A

16-DR-2017
7/13/17

24 X 36

COLOR MATERIALS

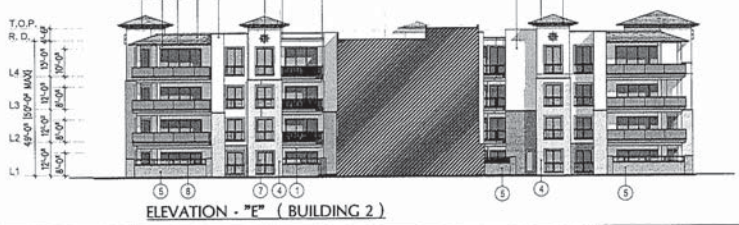
1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resdl'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile



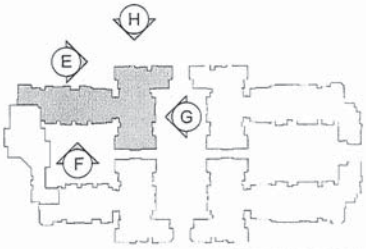
ELEVATION - "H" (BUILDING 2)

ELEVATION - "F" (BUILDING 2)

ELEVATION - "G" (BUILDING 2)



ELEVATION - "E" (BUILDING 2)



0 16' 48'

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO.
BUCILLA
ARIZONA U.S.A.

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDAIL ARIZONA

NO	DATE	DESCRIPTION
	063017	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS
BUILDING 2

Sheet No. :

A-2.10

16-DR-2017
7/13/17

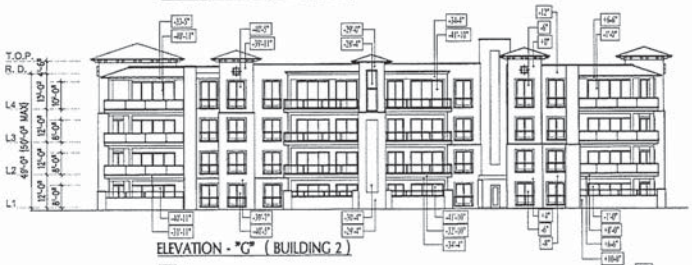
24 X 36

COLOR MATERIALS

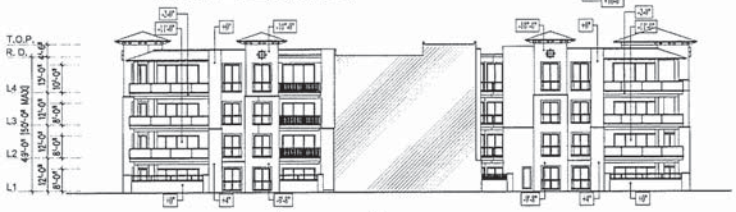
1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Railer Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Gordon Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resid'L Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile

ELEVATION - "H" (BUILDING 2)

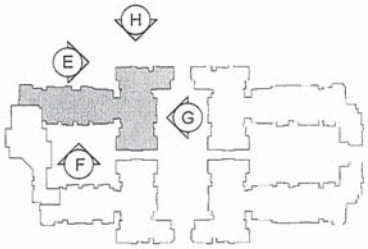
ELEVATION - "F" (BUILDING 2)



ELEVATION - "G" (BUILDING 2)



ELEVATION - "E" (BUILDING 2)



0 16' 48'

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BGA INCORPORATED
BUCILLA GROUP ARCHITECTURE

STAMP

REGISTERED ARCHITECT
EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	062317	DRB SUBMITTAL

FORMAT NO
NO SUBM DATE
PLOT DATE

Project Number
BGA No. 15029

Sheet Title :
BUILDING ELEVATIONS
BUILDING 2

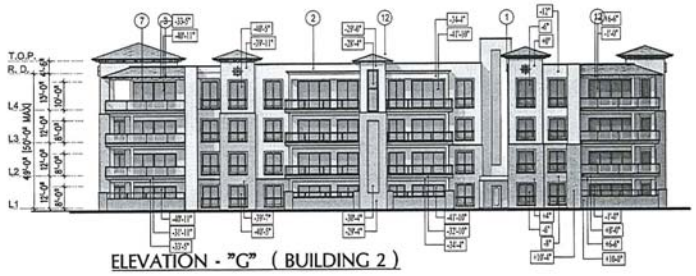
Sheet No. :
A-2.10A

16-DR-2017
7/13/17

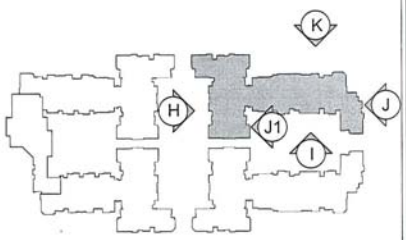
24 X 36

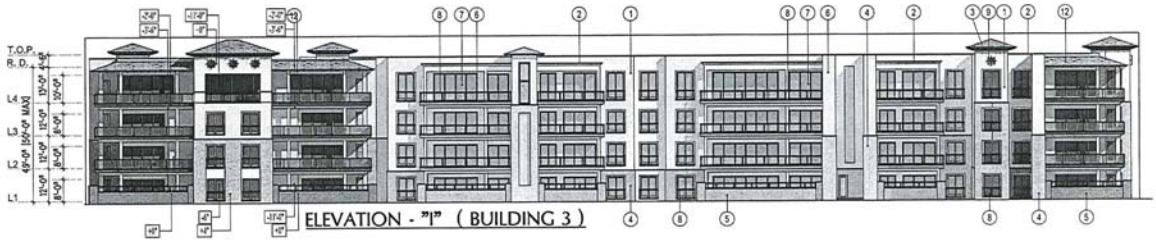
COLOR MATERIALS

1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resid'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile



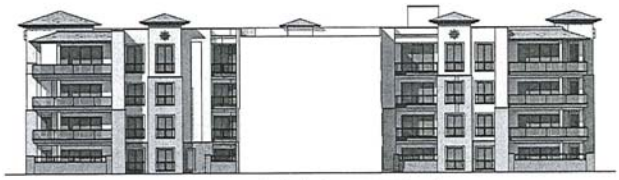
ELEVATION - "G" (BUILDING 2)



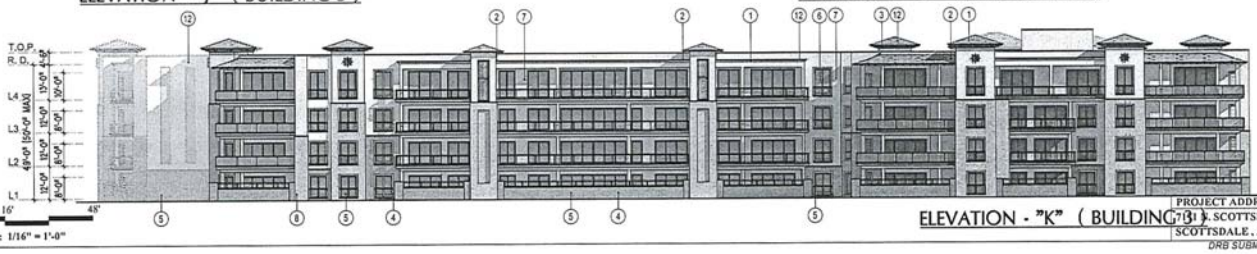


ELEVATION - "I" (BUILDING 3)

ELEVATION - "J" (BUILDING 3)



ELEVATION - "J1" (CBUILDING 3)



ELEVATION - "K" (BUILDING 3)

0 16' 48'

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
7191 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

REGISTERED ARCHITECT
CERTIFICATE HOLDER
53611
JAMES E. BUCILLA
ARIZONA, U.S.A.
EXPIRES 06/30/2018

Project :

ARTESIA
7191 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	06/29/17	DRB SUBMITTAL

PERMIT NO.
BID SUBM. DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS
BUILDING 3

Sheet No. :

A-3.10

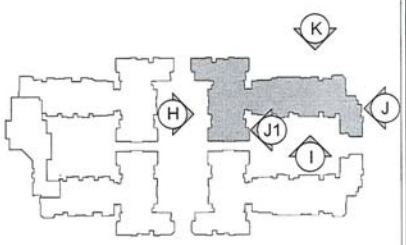
16-DR-2017
7/13/17

24 X 36

COLOR MATERIALS

1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resdt'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile

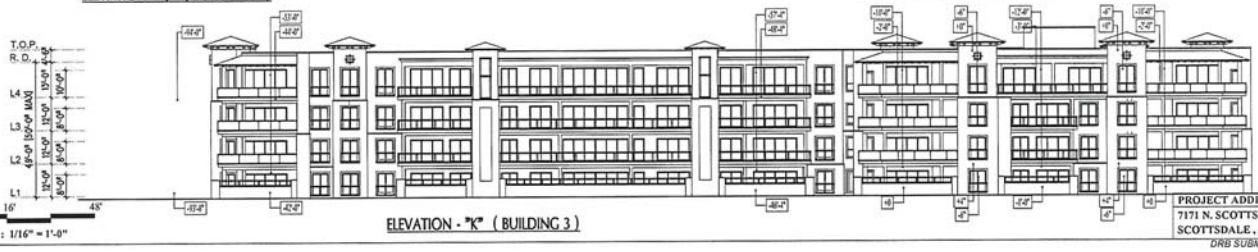
ELEVATION - "H" (BUILDING 3)



ELEVATION - "I" (BUILDING 3)

ELEVATION - "J" (BUILDING 3)

ELEVATION - "J1" (BUILDING 3)



ELEVATION - "K" (BUILDING 3)

0 16' 48'

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2019

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	06/29/17	DRB SUBMITTAL

PERMIT NO
BID SUBM DATE
PILOT DATE

Project Number :

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS
BUILDING 3

Sheet No. :

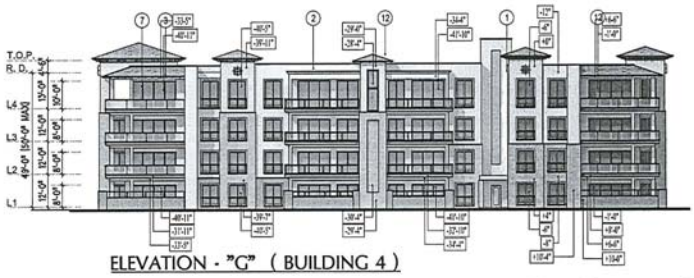
A-3.10A

16-DR-2017
7/13/17

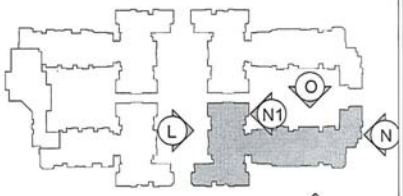
24 X 36

COLOR MATERIALS

1	Building - Wall Building - Veranda Edge Building - Wall Niche
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry
3	Dbl Corbels w/ trim brd. behind Rafter Tail
4	Stone - Building Wall Stone - Building Wall
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap
6	Window / Door - Resd'l. Units Window / Door - Comm. Facility
7	Glazing - Door & Window
8	Railing
9	Porte Cochere Accent Grille
10	Building Lighting
11	Roof - Flat
12	Roof - Flat Tile



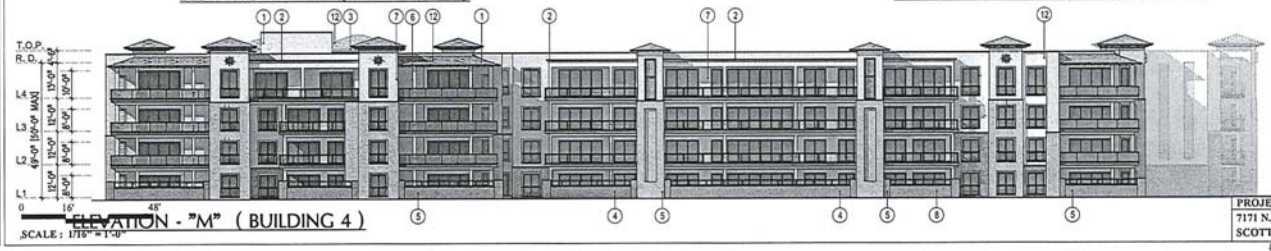
ELEVATION - "G" (BUILDING 4)



ELEVATION - "O" (BUILDING 4)

ELEVATION - "N" (BUILDING 4)

ELEVATION - "N1" (CBUILDING 4)



ELEVATION - "M" (BUILDING 4)

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	06/30/17	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number :

BGA No. 15029

Sheet Title :

BUILDING ELEVATIONS
BUILDING 4

Sheet No. :

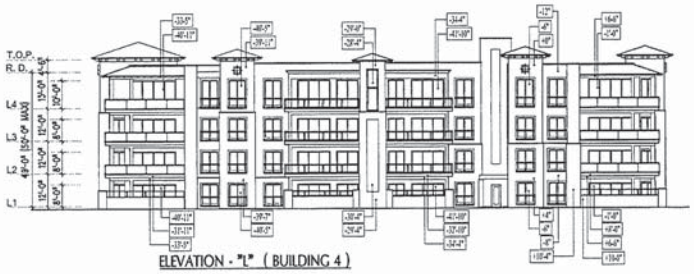
A-4.10

16-DR-2017
7/13/17

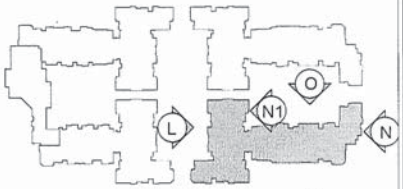
24 X 36

COLOR MATERIALS

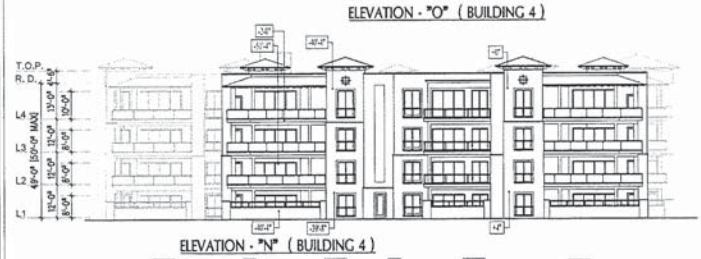
1	Building - Wall Building - Veranda Edge Building - Wall Niche	
2	Fascia Foam - Residential Veranda Fascia Foam - Comm. Fac. Entry	
3	Dbl Corbels w/ trim brd. behind Rafter Tail	
4	Stone - Building Wall Stone - Building Wall	
5	Stone - Garden Walls w/ stone cap Stone - Porte Cochere w/ stone cap	
6	Window / Door - Resd'l. Units Window / Door - Comm. Facility	
7	Glazing - Door & Window	
8	Railing	
9	Porte Cochere Accent Grille	
10	Building Lighting	
11	Roof - Flat	
12	Roof - Flat Tile	



ELEVATION - "L" (BUILDING 4)

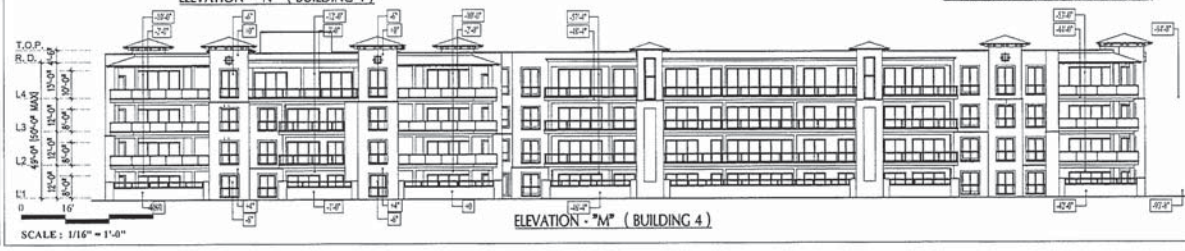


ELEVATION - "O" (BUILDING 4)



ELEVATION - "N" (BUILDING 4)

ELEVATION - "N1" (CBUILDING 4)



ELEVATION - "M" (BUILDING 4)

SCALE : 1/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	06/29/17	DRB SUBMITTAL

PERMIT NO.
DD SUBM. DATE
PLOT DATE

Project Number:

BGA No. 15029

Sheet Title :

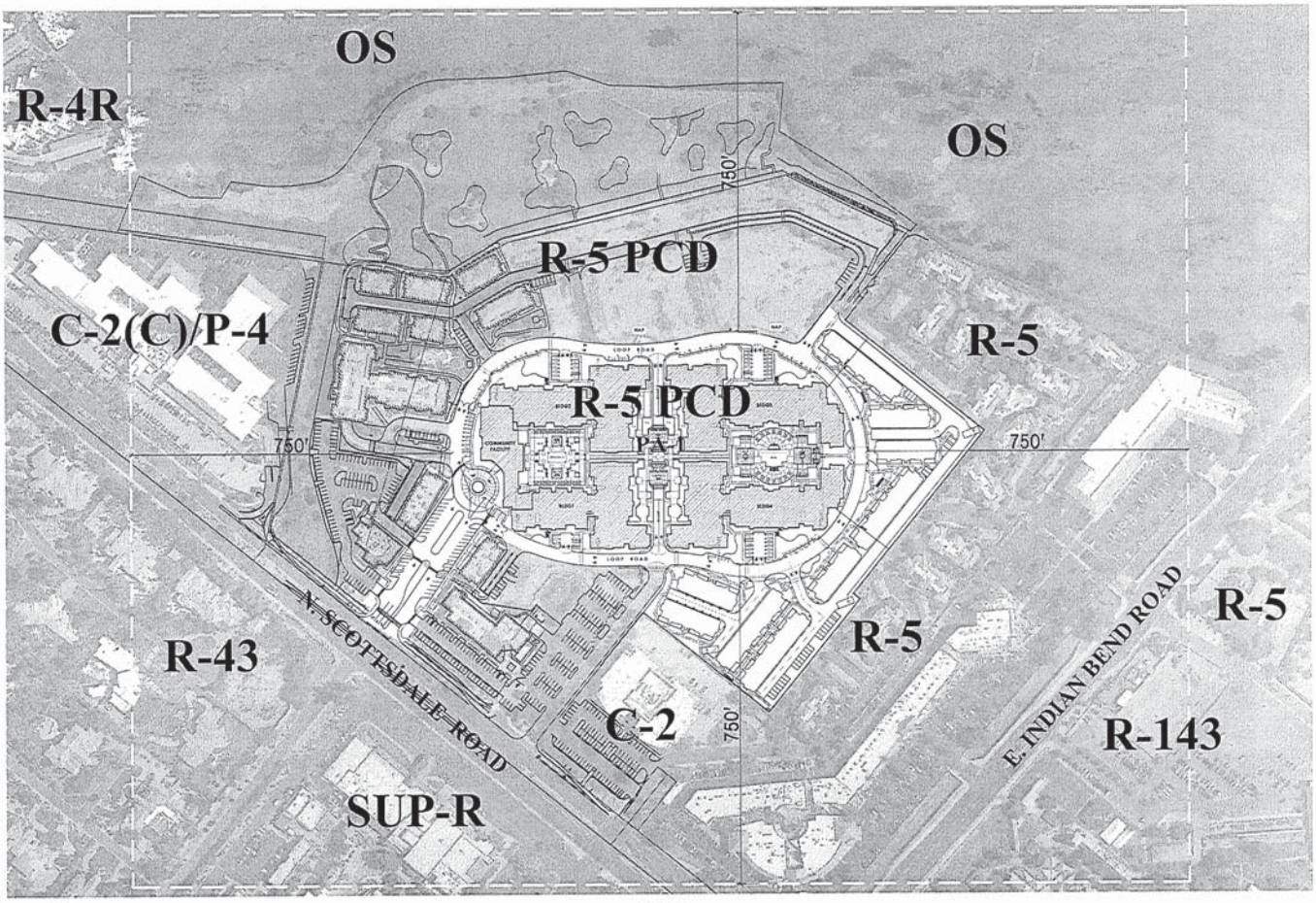
BUILDING ELEVATIONS
BUILDING 4

Sheet No. :

A-4.10A

16-DR-2017
7/13/17

24 X 36



0 100' 300'
SCALE : 1" = 100'-0"

PA-1
CONTEXT AERIAL

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA
DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	063017	DRB SUBMITTAL

PERMIT NO.
BD SUBM. DATE
PLOT DATE

Project Number :
BGA No. 15029

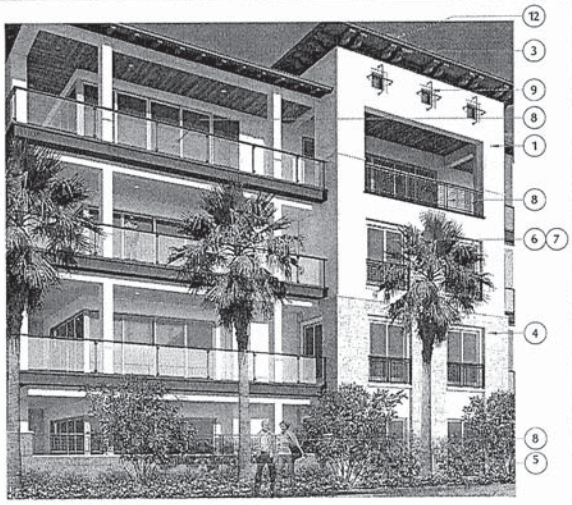
Sheet Title :
PA-1 / PA-3
CONTEXT AERIAL PLAN

Sheet No. :
SP-2.0

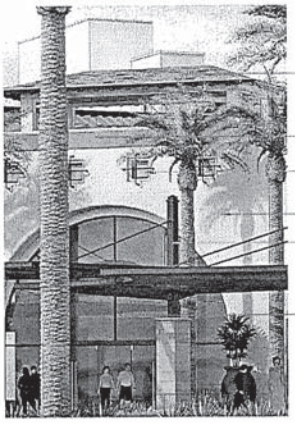
16-DR-2017
7/13/17

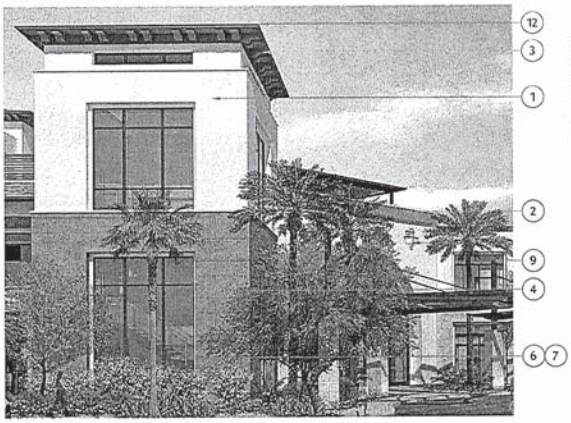
24 X 36

RESIDENTIAL



COMMUNITY FACILITY





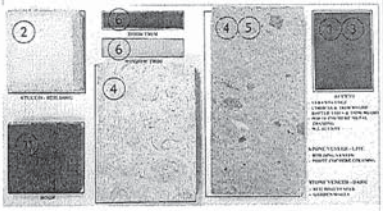
0 16'

SCALE : 3/16" = 1'-0"

COLOR & MATERIAL SUMMARY

1	Building - Wall Building - Veneado Edge Building - Wall Niche	16/20 & Seventh Stucco (specific locations) Seventh Stucco SW - Black Fox 7020 16 / 20 Stucco Finish	SW - Sleep White 7042 SW - Beach House 7519 (Hover)
2	Fascia Foam - Residential Veranda Fascia Foam - Community Facility Entry	Foamstone - 12"x12" Profile Foamstone - 24"x24" Profile	SW - Sleep White 7042 SW - Sleep White 7042
3	Grid Corbels with trim board behind Rafter Tail	10"w x 10"d Profile (Wood or Foam Alt) 6"w x 6"d Profile (Wood or Foam Alt)	SW - Black Fox 7020 SW - Dark Fox 7020
4	Stone - Building Wall Stone - Building Wall	Coquina Limestone - sanded Blanco Limon Cantera	12"x24" veneer with 2" stone cap 12"x24" veneer with 2" stone cap
5	Stone - Garden Walls with stone cap Stone - Patio Cochere with stone cap	Coquina Limestone - sanded Blanco Limon Cantera	12"x24" veneer with 2" stone cap 12"x24" veneer with 2" stone cap
6	Window / Door - Residential Units Window / Door - Community Facility	Vinyl - Beige Frame Vinyl - Dark Bronze Frame (at specific CF locations only)	
7	Glazing - Door and Window	Solarban - Low-E Residential - Community Facility -	SNX 67 low solar gain with KWU artistic Vinyl U Factor 0.28 / SHGC 0.23 Vinyl U Factor 0.40 / SHGC 0.25
8	Railing	1. Glazing Panel 2. Mesh Panel	Module produced SW - Black Fox 7020 Module produced SW - Black Fox 7020
9	Patio Cochere Accent Grille	Box steel column with fish surrounding frame 42"x42"x1" metal frame	SW - Black Fox 7020 SW - Black Fox 7020
10	Building Lighting	1. Entry / Exits / Verandas 2. Bldg Tower Elements 3. Patio Cochere - Pool Off Areas	LED Pancake Dim lighting LED vertical strip lighting LED horizontal strip lighting
11	Roof - Flat	1. Raised Paver Rooftop 2. Mech Rooftop	Tile Tech Pavers - Coral Design GAF - Cool Roof
12	Roof - Flat Tile	Boral - Spanish 900 Slate : Stone Mountain Blend	

BUILDING FINISHES



PA-1
WALL ELEVATIONS & DETAILS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	06/29/17	DRB SUBMITTAL

PERMIT NO.
BD SUBM DATE
PLOT DATE

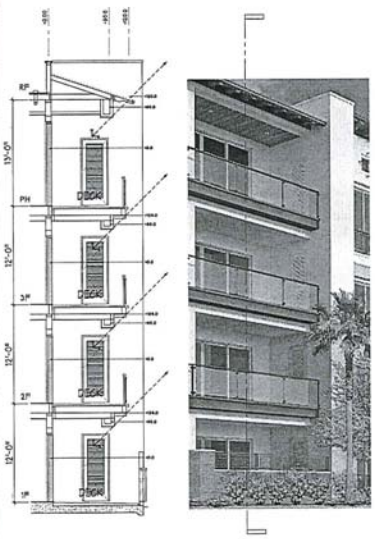
Project Number :
BGA No. 15029

Sheet Title :
WALL ELEVATIONS & BUILDING MATERIALS

Sheet No. :
SP-4.0

16-DR-2017
7/13/17

24 X 36



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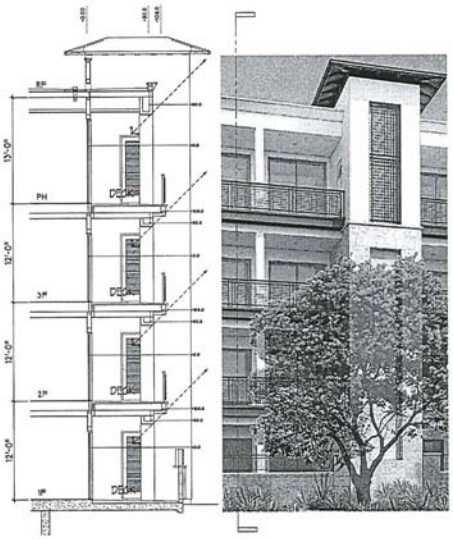

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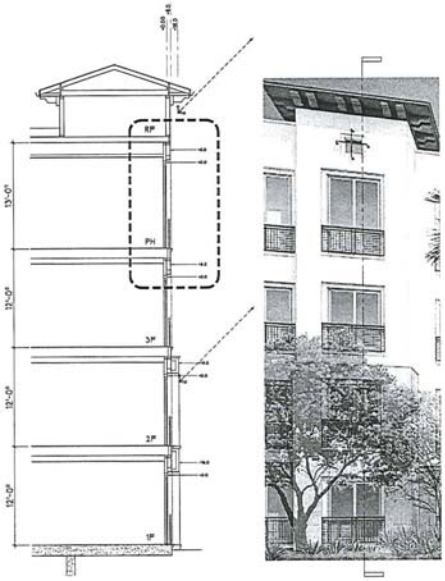
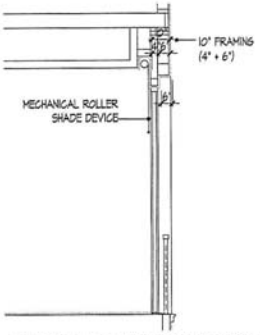


C

STANDARD WALL THICKNESS & RECESS

- 50% OF 10" = 5"
- 30% OF 10" = 3"



TYPICAL DOOR/WINDOW SECTION

RESIDENTIAL

PA-1
WALL ELEVATIONS
& DETAILS

KEYPLAN

0 16'
SCALE : 3/16" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

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EXPIRES 06/30/2019

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	062417	DRB SUBMITTAL

PERMIT NO.
BD SUBM. DATE
PLOT DATE

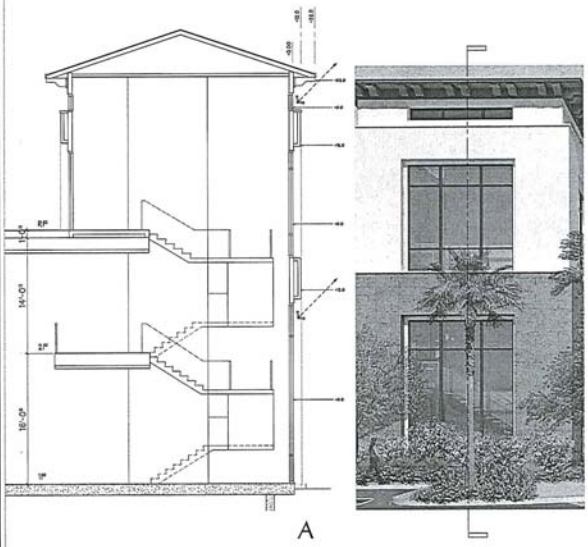
Project Number :
BGA No. 15029

Sheet Title :
RESIDENTIAL
WALL ELEVATIONS
& DETAILS

Sheet No. :
SP-4.1

16-DR-2017
7/13/17

24 X 36



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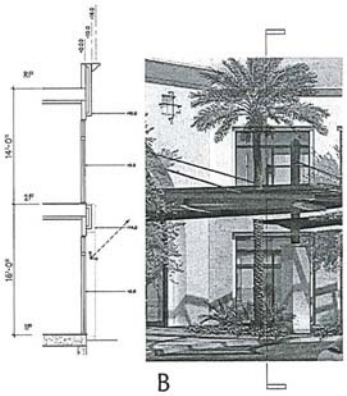

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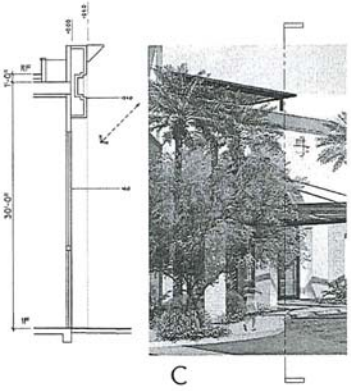
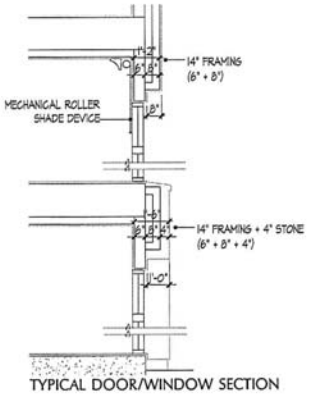


C

STANDARD WALL THICKNESS & RECESS

- 50% OF 14" = 7"
- 30% OF 14" = 5"



TYPICAL DOOR/WINDOW SECTION

0 16'

SCALE : 3/16" = 1'-0"

COMMUNITY FACILITY

PA-1
WALL ELEVATIONS
& DETAILS

KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

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Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

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SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	062117	DRB SUBMITTAL

PERMIT NO:
BD SUBM. DATE:
PLOT DATE:

Project Number :

BGA No. 15029

Sheet Title :

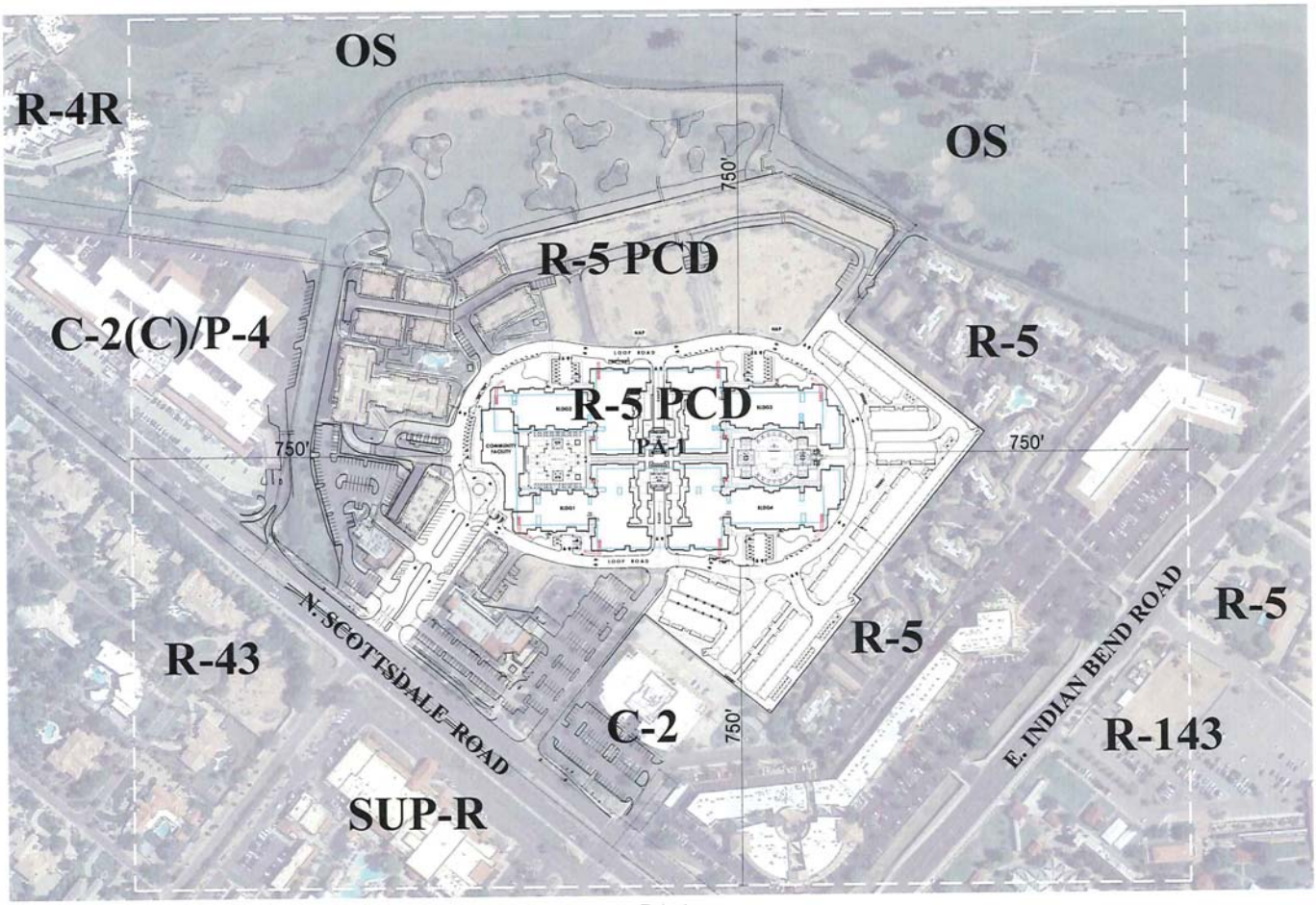
COMM. FACILITY
WALL ELEVATIONS
& DETAILS

Sheet No. :

SP-4.2

16-DR-2017
7/13/17

24 X 36



SCALE : 1" = 100'-0"

PA-1
CONTEXT AERIAL

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

16-DR-2017
7/13/17

ARCHITECT:

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EXPIRES 06/30/2018

Project :

ARTESIA
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SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	062917	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

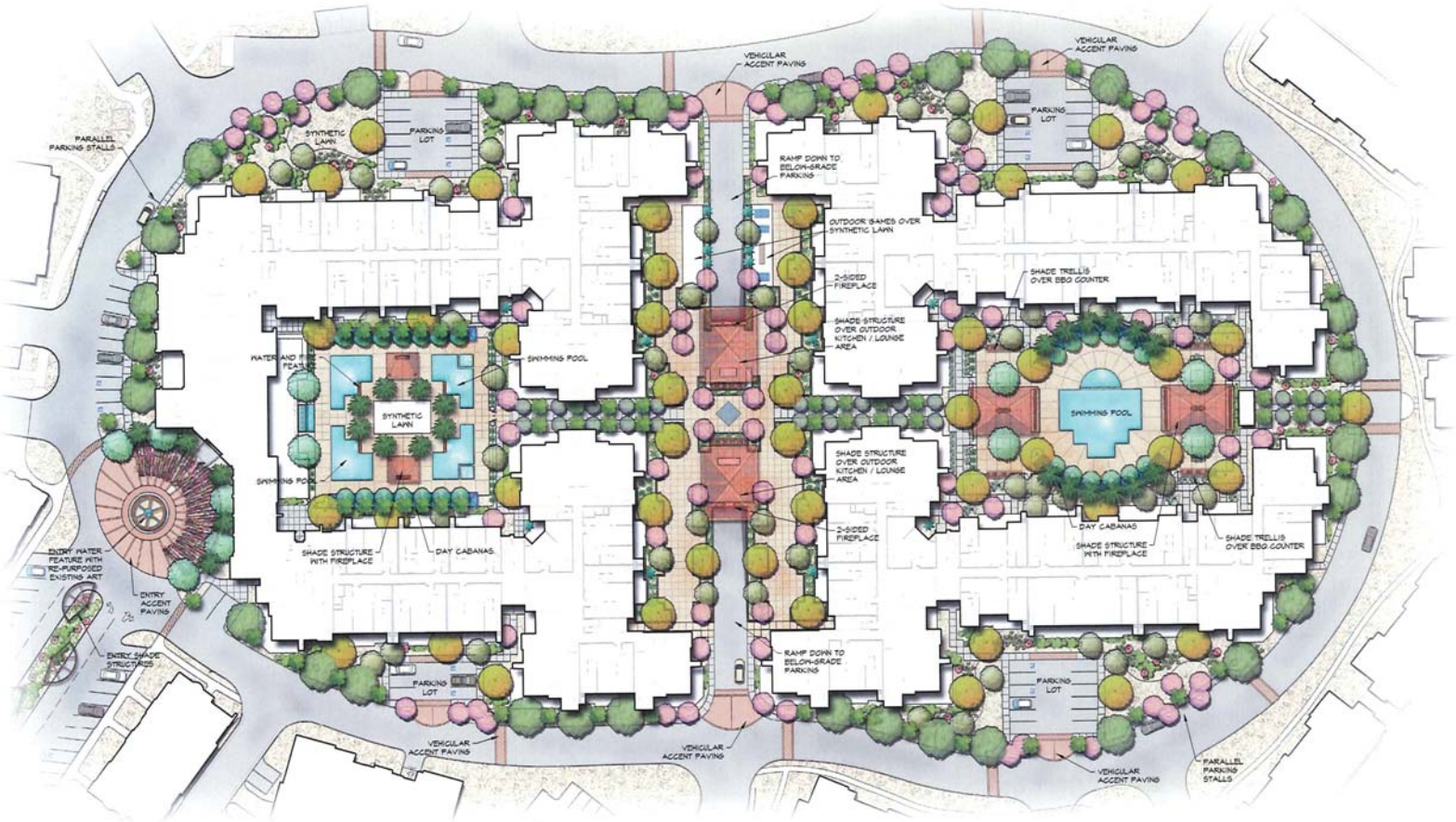
BGA No. 15029

Sheet Title :

PA-1 / PA-3
CONTEXT AERIAL
PLAN

Sheet No. :

SP-2.0



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Illustrative Master Plan

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Scottsdale, AZ | July 13, 2017

L 1.0

0 30 60 90 150

Scale : 1" = 30'-0" @ 24"x36"

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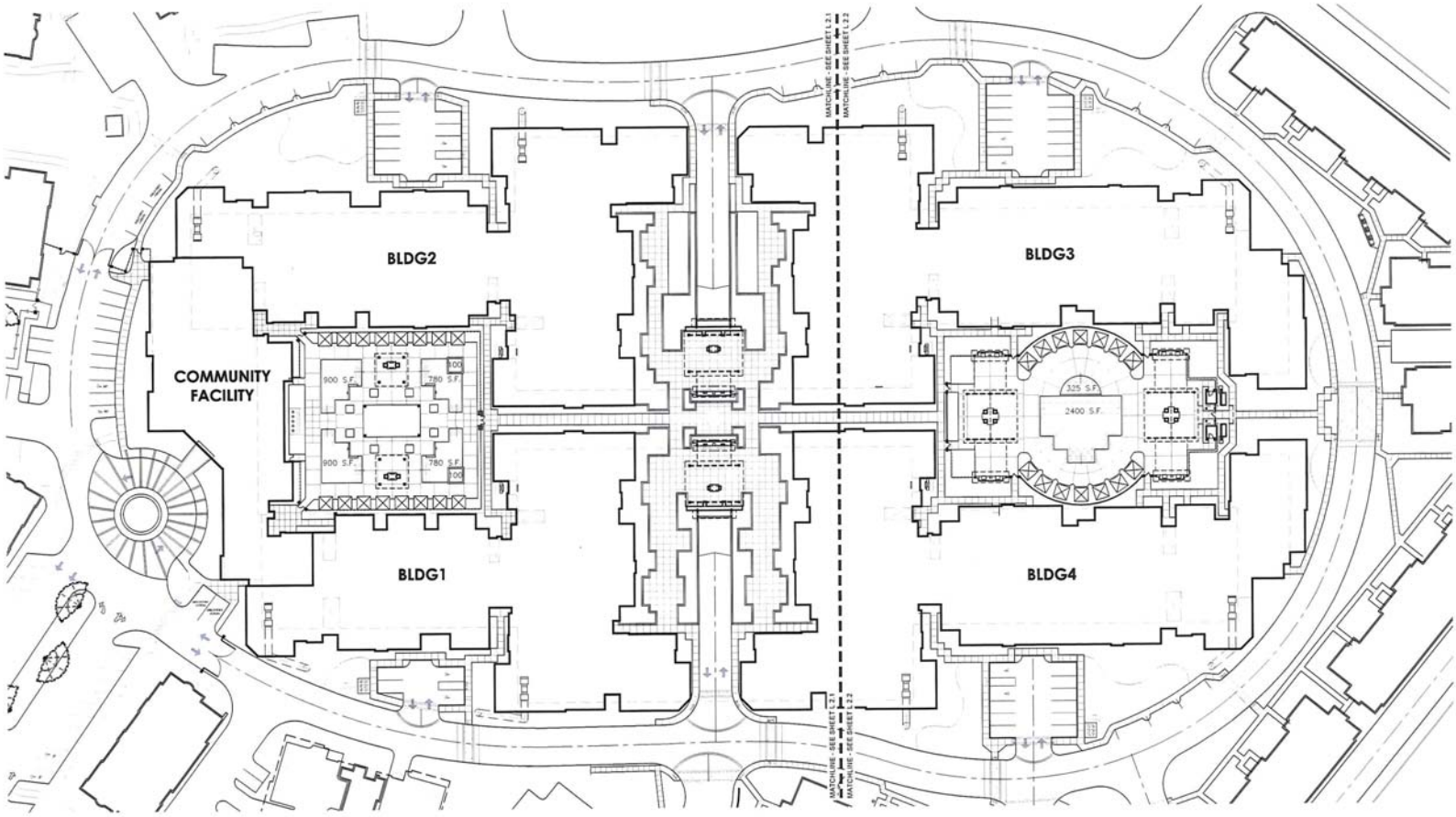

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Hardscape Plan - Overall

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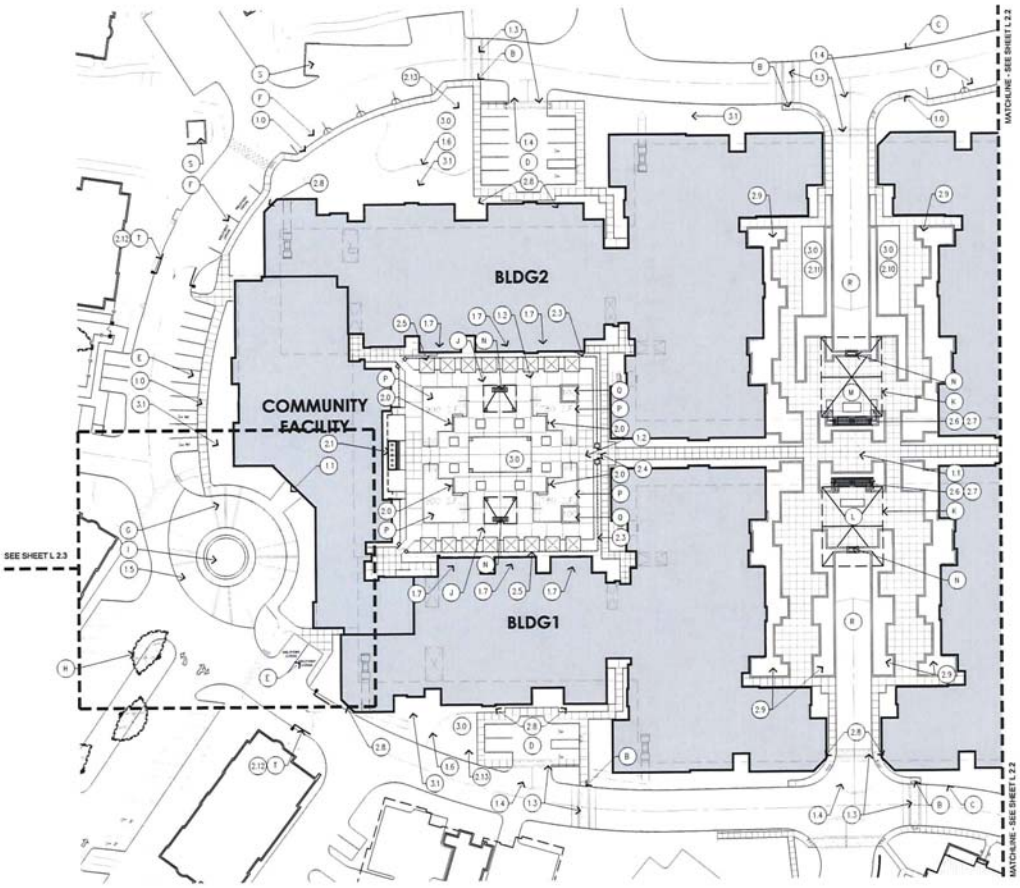

HARDSCAPE KEYNOTES

(X) EXISTING CONDITIONS / DISCIPLINE REFERENCE

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(1.0) PAVING & FLATWORK

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(2.0) SITE DETAILS

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(3.0) INERT LANDSCAPE MATERIALS

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Hardscape Plan - North End

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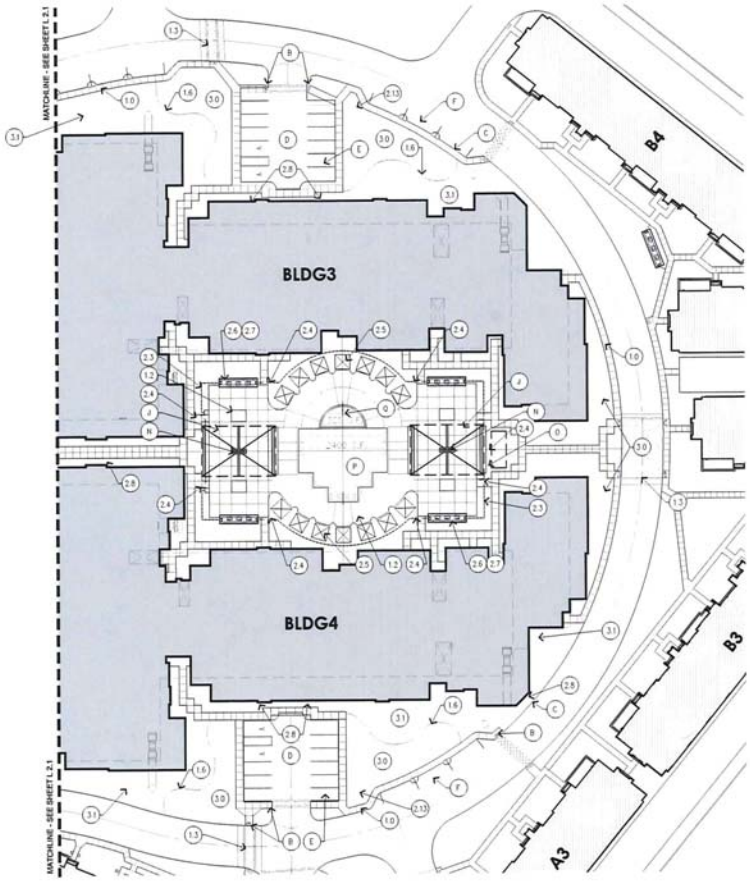

HARDSCAPE KEYNOTES

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(10.0) PAVING & FLATWORK

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(20.0) SITE DETAILS

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(30.0) INERT LANDSCAPE MATERIALS

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Hardscape Plan - South End

Scottsdale Road & Indian Bend Road
Scottsdale, AZ | July 13, 2017

L 2.2

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Scale : 1" = 30'-0" @ 24"x36"

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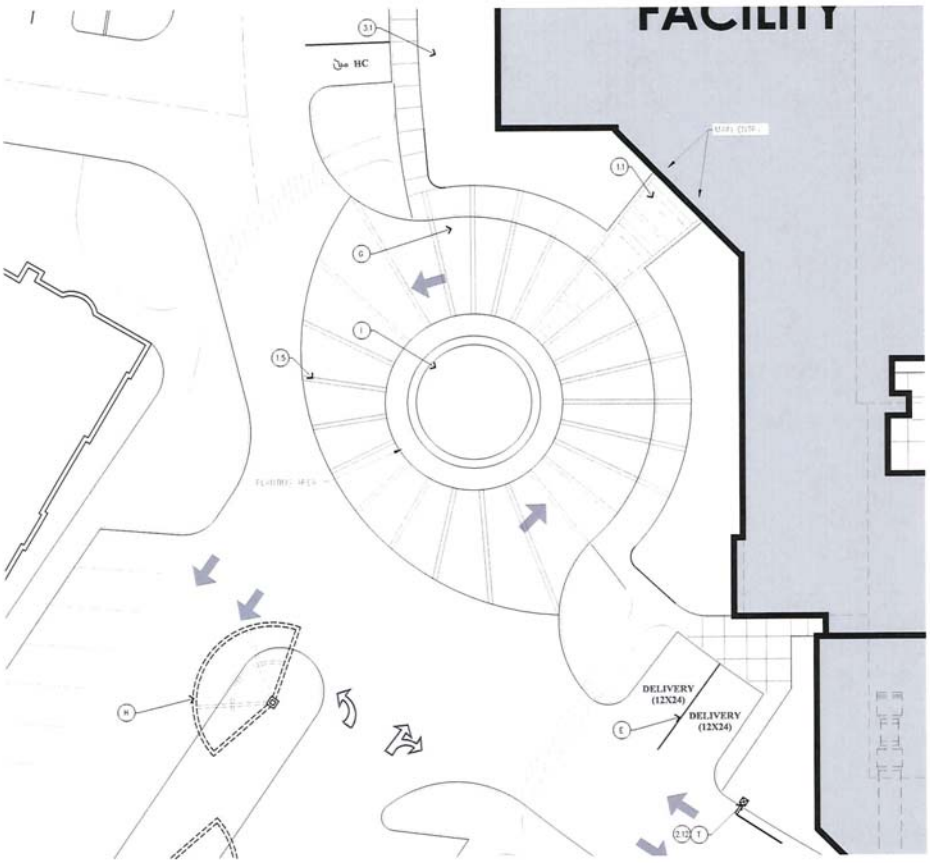

HARDSCAPE KEYNOTES

(X) EXISTING CONDITIONS / DISCIPLINE REFERENCE

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(1.0) PAVING & FLATWORK

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(2.0) SITE DETAILS

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(3.0) INERT LANDSCAPE MATERIALS

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Hardscape Plan - Enlarged Plan at Vehicle Accent Paving

Scottsdale Road & Indian Bend Road
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L 2.3

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Scale : 1" = 10'-0" @ 24"x36"

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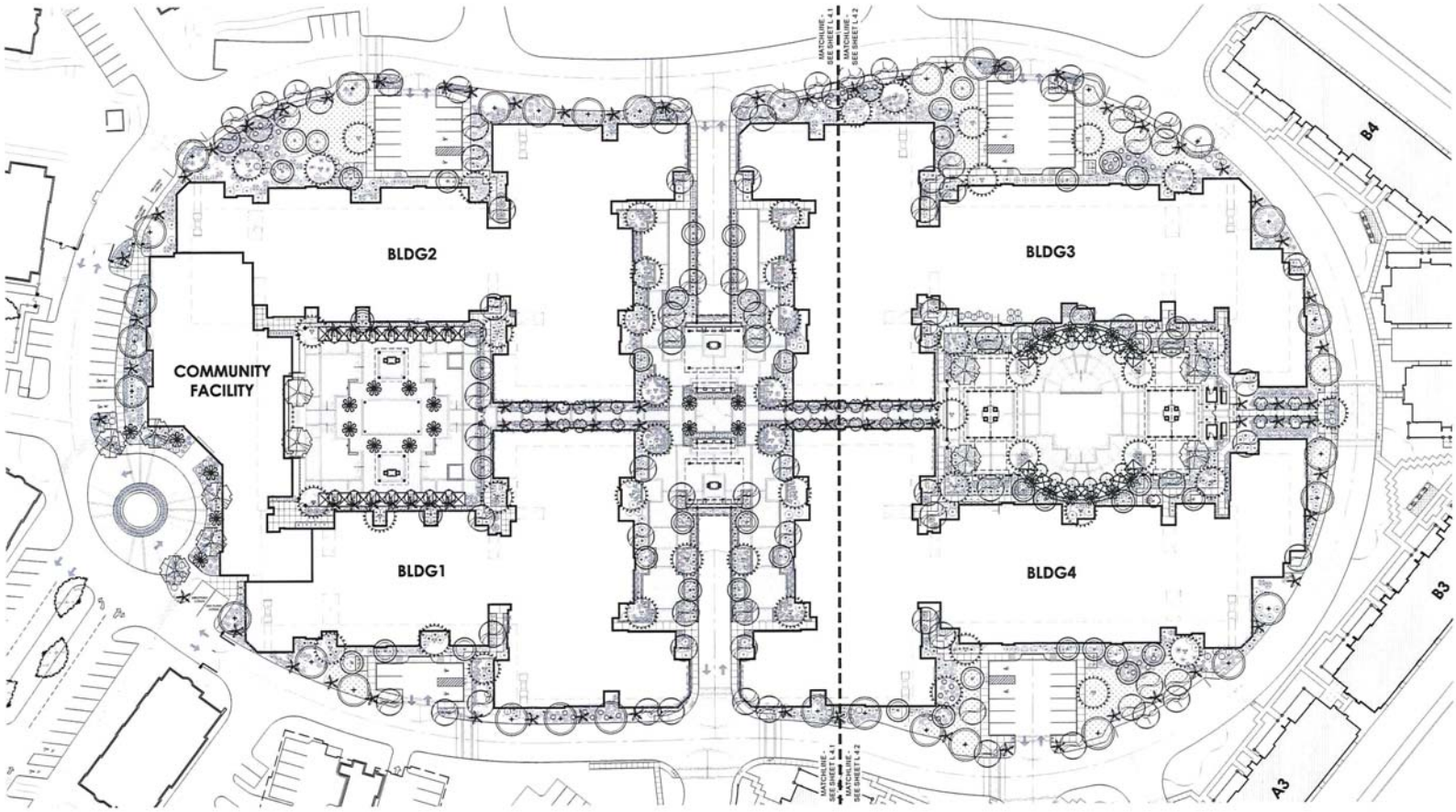

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Landscape Plan - Overall

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0 30 60 90 150
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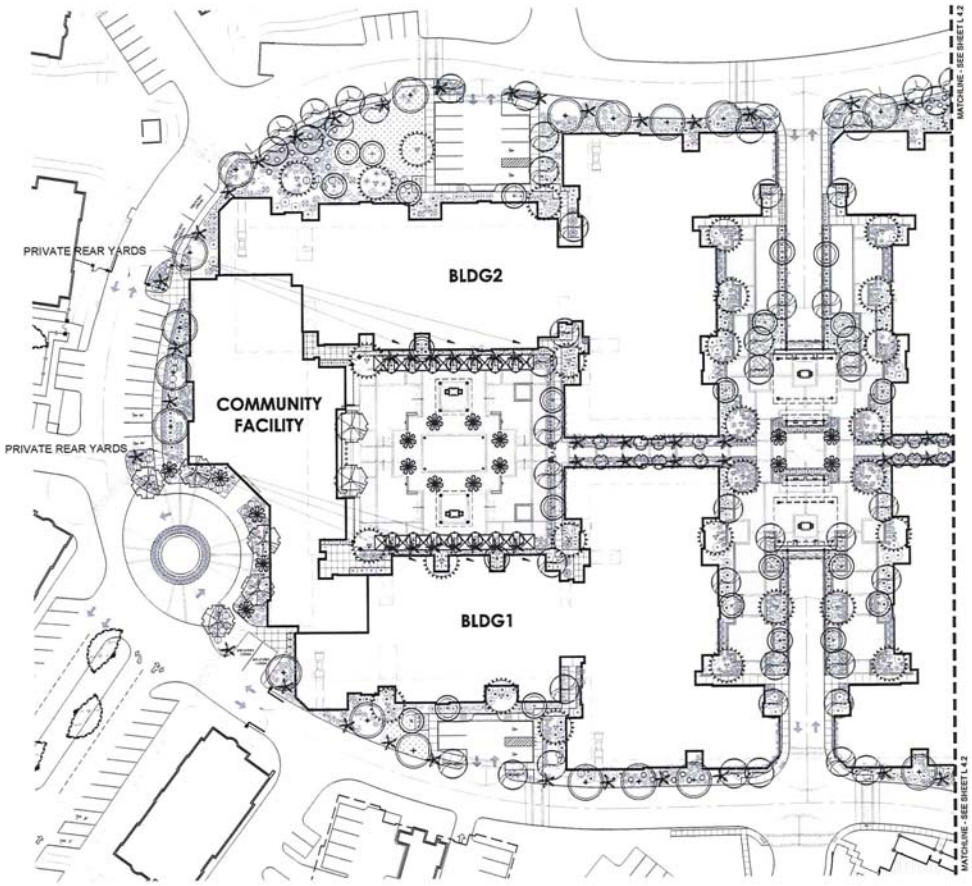

PLANTING LEGEND

SYMBOL	TREES	NOTES	SIZE	QTY
	Bauhinia congesta WHITE ORCHID TREE	STANDARD TRUNK	24" BOX	90
	Cercidium x "Desert Museum" DESERT MUSEUM PALO VERDE	STANDARD TRUNK	36" BOX	49
	Leucophyllum ambrosiacum FEATHER BUSH	STANDARD TRUNK	24" BOX	26
	Olneya tesota IRONWOOD	STANDARD TRUNK SELECT SPECIMEN	48" BOX	11
	Pinus Canariensis CANARY ISLAND PINE	STANDARD TRUNK	24" BOX	48
	Quercus virginiana "Heritage" HERITAGE LIVE OAK	STANDARD TRUNK	24" BOX	33
	Sophora secundiflora TEXAS MOUNTAIN LAUREL	STANDARD TRUNK	24" BOX	26
SYMBOL	**PALM TREES**	**NOTES**	**SIZE**	**QTY**
	Phoenix dactylifera DATE PALM	STANDARD TRUNK	20' HT.	29
	Washingtonia robusta FAN PALM	STANDARD TRUNK	12' HT.	91
SYMBOL	**SHRUBS**	**NOTES**	**SIZE**	**QTY**
	Caesalpinia pulcherrima RED BIRD OF PARADISE		5 GAL.	64
	Calliandra californica BAJA FAIRY DUSTER		5 GAL.	43
	Callistemon viminalis x "Little John" DWARF BOTTLEBRUSH		5 GAL.	136
	Carissa grandiflora NATAL PLUM		5 GAL.	267
	Feijoa sellowiana PINEAPPLE GUAVA		5 GAL.	133
	Hibiscus rosa-sinensis HIBISCUS		5 GAL.	121
	Justicia spicigera MEXICAN HONEYSUCKLE		5 GAL.	88
	Leucophyllum frutescens GREEN CLOUD SAGE		5 GAL.	94
	Muhlenbergia rigens DEEP GRASS		5 GAL.	57
	Myrtus communis "Compacta" DWARF MYRTLE		5 GAL.	177
	Ruellia peninsularis DESERT RUELLIA		5 GAL.	272
	Salvia greggii SALVIA		5 GAL.	59
	Tecoma stans YELLOW BELLS		5 GAL.	159
SYMBOL	**ACCENTS & VINES**	**NOTES**	**SIZE**	**QTY**
	Bougainvillea x "Barbara Karst" BOUGAINVILLEA		5 GAL.	58
	Chamaerops humilis MEDITERRANEAN FAN PALM		15 GAL.	58
	Euphorbia rigida SILVER SPURGE		5 GAL.	302
	Hardenbergia violacea PURPLE LILAC VINE		5 GAL.	37
	Hesperaloe parviflora "Brakelights" RED YUCCA		5 GAL.	52
	Phoenix roebelenii PYGMY DATE PALM		5 GAL.	39
	Rosmarinus officinalis ROSEMARY		5 GAL.	40
	Wisteria sinensis CHINESE WISTERIA		5 GAL.	4
SYMBOL	**GROUNDCOVER**	**NOTES**	**SIZE**	**QTY**
	Lantana camara 'Gold Mound' GOLD MOUND LANTANA		1 GAL.	665
	Medelia biloba MEDELIA		1 GAL.	396
SYMBOL	**SALVAGED PLANT MATERIAL**	**NOTES**		
SYMBOL	**OTHER LANDSCAPE MATERIAL**	**NOTES**	**QTY**	
	Synthetic Lawn PIONEER 'BARBI' TURF	WITH SPRINKLERS AND D.C.	9,733 s.f.	
	DECOMPOSED GRANITE COLOR: 'DESERT GOLD'	1/2" SCREENED	XX,XXX s.f.	

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Landscape Plan - North End

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L 4.1

0 30 60 90 150
Scale : 1" = 30'-0" @ 24"x36"

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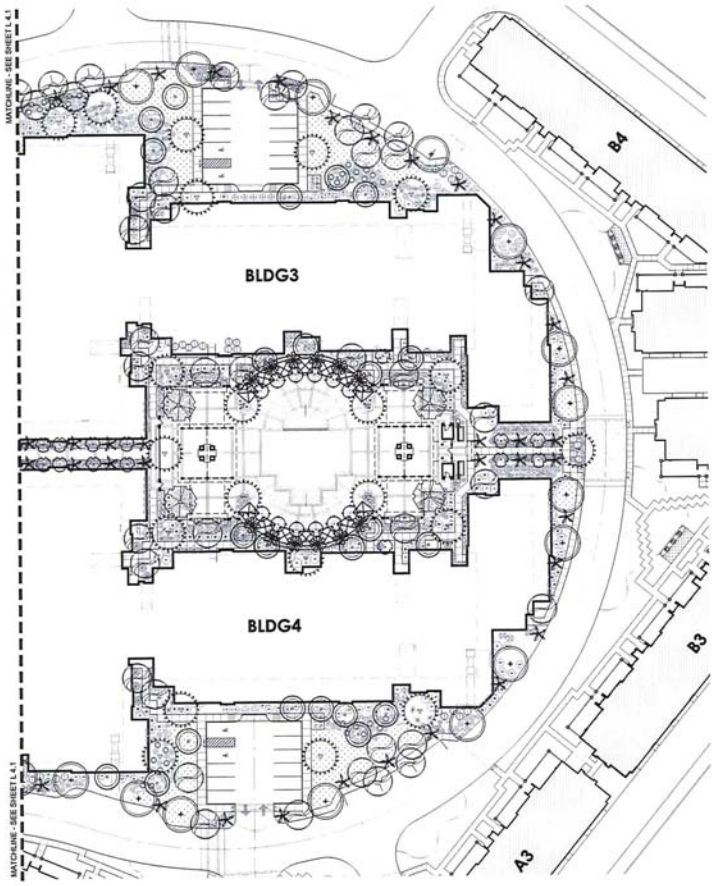

PLANTING LEGEND

SYMBOL	TREES	NOTES	SIZE	QTY
	Bauhinia congrediti WHITE ORCHID TREE	STANDARD TRUNK	24" BOX	90
	Cercidium x "Desert Museum" DESERT MUSEUM PALO VERDE	STANDARD TRUNK	36" BOX	49
	Leucophyllum microphyllum x Rheedanum FEATHER BUSH	STANDARD TRUNK	24" BOX	26
	Olneya tesota IRONWOOD	STANDARD TRUNK SELECT SPECIMEN	48" BOX	11
	Pinus Canariensis CANARY ISLAND PINE	STANDARD TRUNK	24" BOX	48
	Quercus virginiana 'Heritage' HERITAGE LIVE OAK	STANDARD TRUNK	24" BOX	33
	Sophora secundiflora TEXAS MOUNTAIN LAUREL	STANDARD TRUNK	24" BOX	26

SYMBOL	PALM TREES	NOTES	SIZE	QTY
	Phoenix dactylifera DATE PALM	STANDARD TRUNK	20' HT.	29
	Washingtonia robusta FAN PALM	STANDARD TRUNK	12' HT.	91

SYMBOL	SHRUBS	NOTES	SIZE	QTY
	Caesalpinia pulcherrima RED BIRD OF PARADISE		5 GAL.	64
	Calliandra californica BAJA FAIRY DUSTER		5 GAL.	43
	Callistemon viminalis x 'Little John' DWARF BOTTLEBRUSH		5 GAL.	136
	Carissa grandiflora NATAL PLUM		5 GAL.	287
	Feijoa sellowiana PINEAPPLE GUAVA		5 GAL.	133
	Hibiscus rosa-sinensis HIBISCUS		5 GAL.	121
	Justicia spicigera MEXICAN HONEYSUCKLE		5 GAL.	88
	Leucophyllum frutescens GREEN CLOUD SAGE		5 GAL.	94
	Muhlenbergia rigens DEER GRASS		5 GAL.	57
	Myrtus communis 'Compacta' DWARF MYRTLE		5 GAL.	177
	Ruellia peninsularis DESERT RUELLIA		5 GAL.	272
	Salvia greggii SALVIA		5 GAL.	59
	Tecoma stans YELLOW BELLS		5 GAL.	159

SYMBOL	ACCENTS & VINES	NOTES	SIZE	QTY
	Bougainvillea x 'Barbara Karst' BOUGAINVILLEA		5 GAL.	58
	Chamaerops humilis MEDITERRANEAN FAN PALM		15 GAL.	58
	Euphorbia ingens SILVER SPURGE		5 GAL.	302
	Hardenbergia violacea PURPLE LILAC VINE		5 GAL.	37
	Hesperaloe parviflora 'Brakelights' RED YUCCA		5 GAL.	52
	Phoenix roebelenii PYGMY DATE PALM		5 GAL.	39
	Rosmarinus officinalis ROSEMARY		5 GAL.	40
	Wisteria sinensis CHINESE WISTERIA		5 GAL.	4

SYMBOL	GROUNDCOVER	NOTES	SIZE	QTY
	Lantana camara 'Gold Mound' GOLD MOUND LANTANA		1 GAL.	685
	Medelia tribuata MEDELIA		1 GAL.	396

SYMBOL	SALVAGED PLANT MATERIAL	NOTES

SYMBOL	OTHER LANDSCAPE MATERIAL	NOTES	QTY
	Synthetic Lawn PIONEER 'SARBA' TURF	WITH SPRINKLERS & D.C.	9,733 s.f.
	DECOMPOSED GRANITE COLOR 'DESERT GOLD'	1/2" SCREENED	XX,XXX s.f.

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Landscape Plan - South End

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L 4.2

0 30 60 90 150
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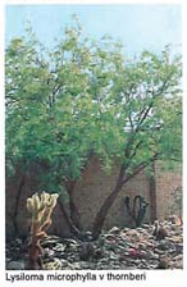
Pinus Canariensis

Bauhinia congesta

Cercidium x 'Desert Museum'


Lysiloma microphylla v thornberi

Olneya tesota

Phoenix dactylifera

Quercus virginiana

Sophora secundiflora

Washingtonia robusta

Shade Trees & Palm Trees

Hesperaloe parviflora 'Brakelights'

Bougainvillea 'Barbara Karst'

Caesalpinia pulcherima

Calliandra californica

Callistemon viminalis

Carissa grandiflora

Chamaerops humilis

Euphorbia rigida

Feijoa sellowiana

Hardenbergia violacea

Hibiscus rosa-sinensis

Justicia spicigera

Lantana camara 'Gold Mound'

Leucophyllum frutescens 'Green Cloud'

Muhlenbergia rigens

Myrtus communis

Phoenix roebelenii

Rosmarinus officinalis

Ruellia peninsularis

Tecoma stans

Wedelia trilobata

Wisteria sinensis

Shrubs, Vines, Accents, and Groundcovers

'Desert Gold' Decomposed Granite

Pioneer 'Darby' Artificial Turf

Inert Landscape Materials

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Landscape Material & Imagery

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L 4.3

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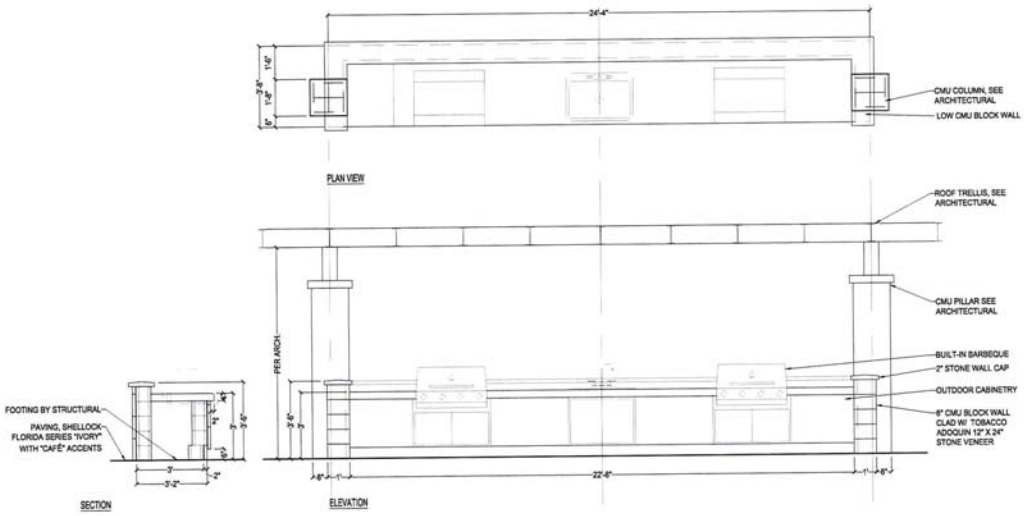


Material used at pool gate and fence posts, frames, and mesh panels. See details 6 & 7 on sheet L5.1 of this set.

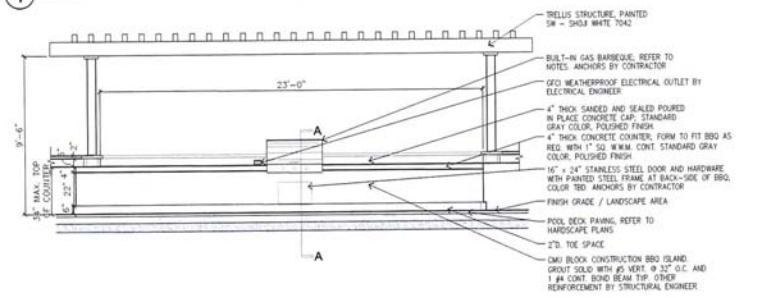
SW7020 Black Fox

Material used at trellis structure. See detail 2 on sheet L5.0 of this set.

SW7042 Shoji White

1 BARBEQUE TRELLIS

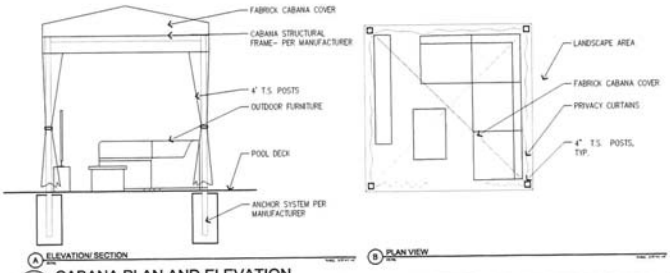
SCALE: 1/2"=1'-0"



2 TRIPLE BBQ AT KITCHEN AREA RAMADAS

DETAIL

SCALE: 3/8"=1'-0"



3 CABANA PLAN AND ELEVATION

DETAIL

SCALE: 3/8"=1'-0"

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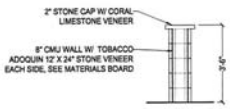
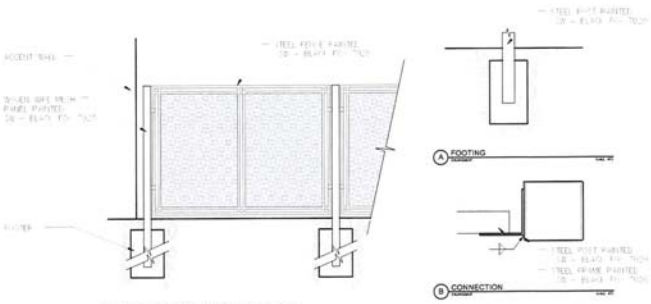


4 LOW WALL

SCALE: 1/2"=1'-0"

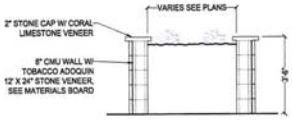


6 TYPICAL POOL FENCE

SCALE: 1/2"=1'-0"

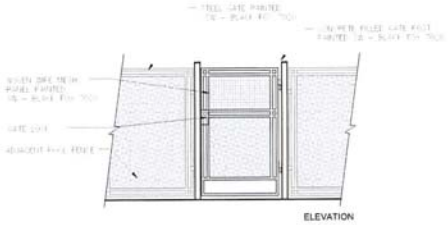
Coral Limestone

Material used at low walls and raised planter walls. See details 4 & 5 on sheet L5.1 of this set.



5 RAISED PLANTER WALLS

SCALE: 1/2"=1'-0"



7 POOL ENTRY GATE / SECURITY FENCE (TYP.)

SCALE: 1/2"=1'-0"

Tobacco Adoquin

Material used at BBQ trellis structure, low walls, and raised planter walls. See detail 1 on sheet L5.0 and details 4, and 5 on sheet L5.1 of this set.

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Shellock Paver - Atlantic Ivory color

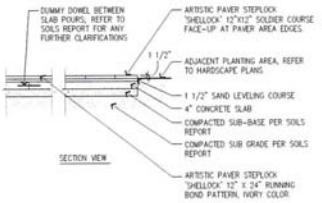
Shellock Paver - Atlantic Cafe color

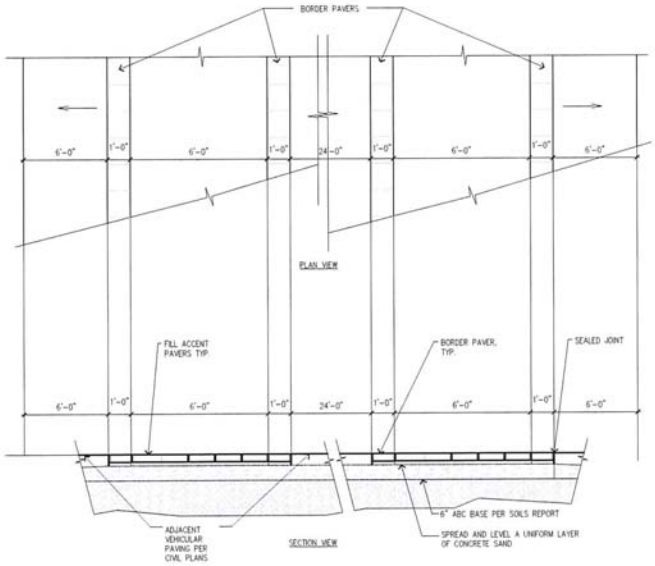
Shellock Paver material used at pool deck. See detail 10 on sheet L5.2 of this set.

Detailed image and overview perspective images are for reference and visualization only of paver application. Please refer to detail 10 on sheet L5.2 of this sheet.

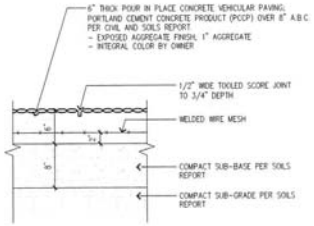
Shellock Paver detailed image #1

Shellock Paver overview perspective image #2

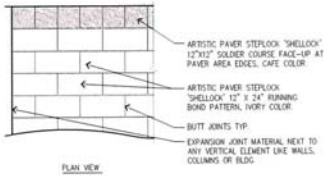




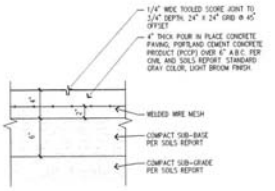
8 PEDESTRIAN CROSSWALKS
DETAIL
NTS



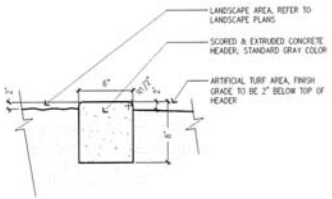
9 VEHICULAR ACCENT PAVING
DETAIL
SCALE: NTS



10 POOL ACCENT PAVERS
DETAIL
SCALE: NTS



11 PEDESTRIAN ACCENT PAVING
DETAIL
SCALE: NTS



NOTES:

A. EXPANSION JOINT @ 15'-0" O.C. W/ 24" #3 REBAR LINKING THE SEPARATE POURS, GREASE ONE END OF THE BAR.

B. SCORE JOINTS @ 5' O.C.

12 CONCRETE HEADER
DETAIL
SCALE: NTS

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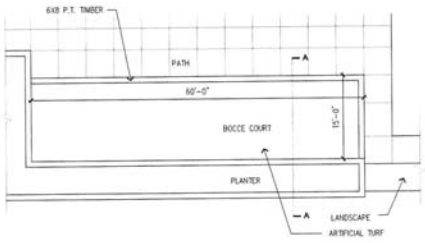
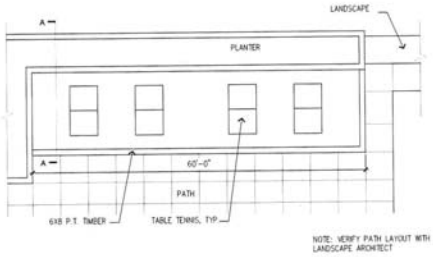
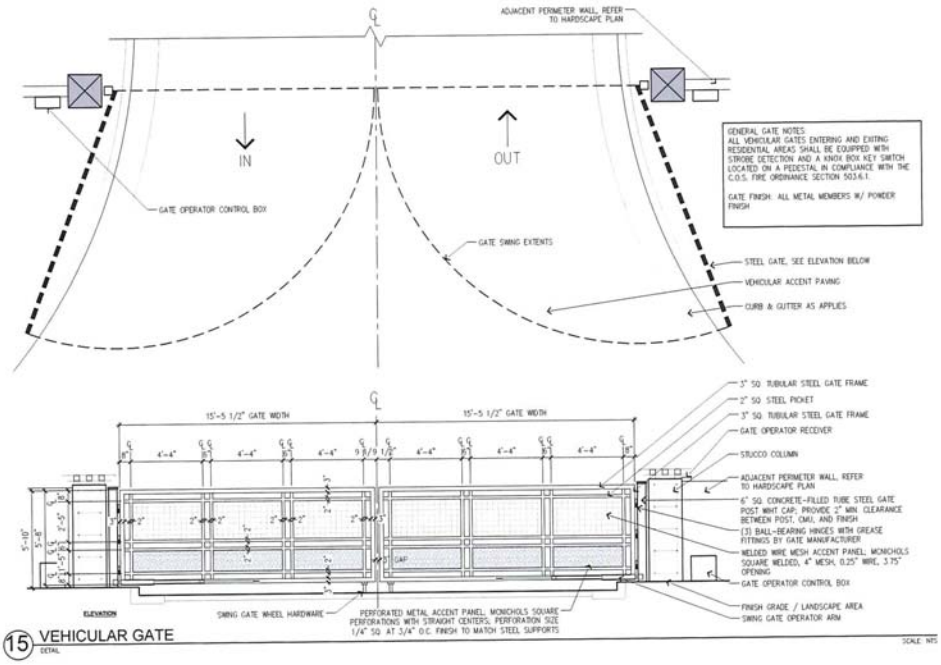


13 BOCCE COURT AT ARTIFICIAL TURF
DETAIL
SCALE: NTS



14 TABLE GAMES AT ARTIFICIAL TURF
DETAIL
SCALE: NTS



15 VEHICULAR GATE
DETAIL
SCALE: NTS

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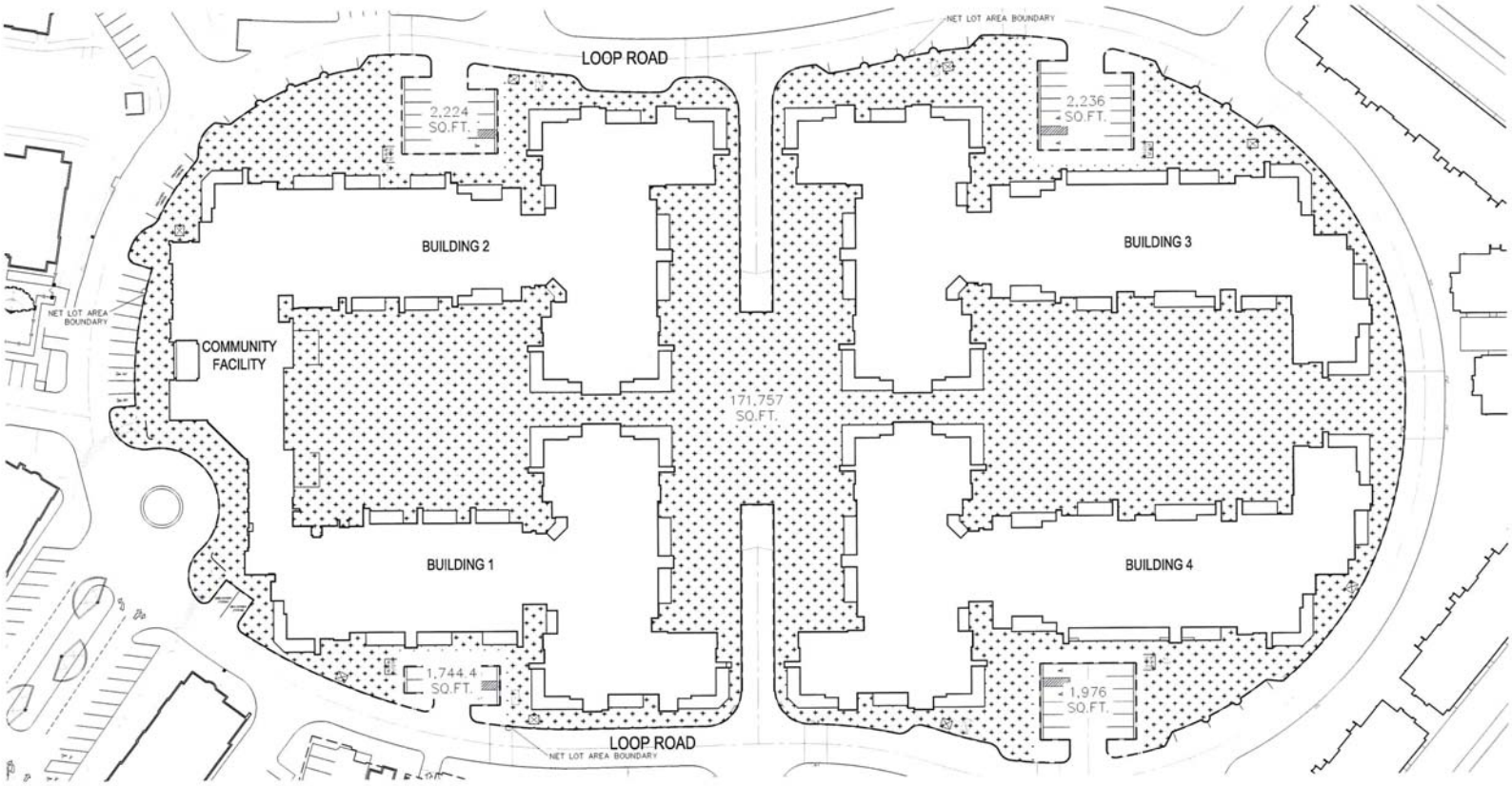

REQUIRED OPEN SPACE CALCULATIONS:

NET LOT AREA (PA-1): 361,843 s.f.
MAX. BUILDING HEIGHT: 50'-0"

FIRST 12' OF HEIGHT: = 10% x NET LOT AREA
= 0.10 x 361,843 = 36,184 s.f.
NEXT 38' OF HEIGHT: = 38' x .004 x 361,843 = 55,000 s.f.

OPEN SPACE REQUIRED
(NOT INCLUDING PARKING LOT LANDSCAPING)

= 36,184 + 55,000 = 91,184 s.f. (~25%) REQUIRED
= 171,757 s.f. (~47%) PROVIDED

PARKING LOT LANDSCAPING REQUIRED CALCULATIONS:

PARKING LOT AREA x 15%

13,135.3 s.f. x 0.15 = 1,970.3 s.f. REQUIRED
= 8,180.4 s.f. PROVIDED

RIGHT-OF-WAY LANDSCAPING REQUIRED:

RIGHT-OF-WAY LANDSCAPING IS NOT APPLICABLE AS NO PUBLIC RIGHTS-OF-WAY EXIST WITHIN THE SCOPE OF THIS PROJECT

PARKING LOT LANDSCAPING
8,180.4 SQ.FT. PROVIDED

OPEN SPACE OTHER THAN FRONTAL OPEN SPACE
171,757.0 SQ.FT. PROVIDED

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Open Space Calculation Plan

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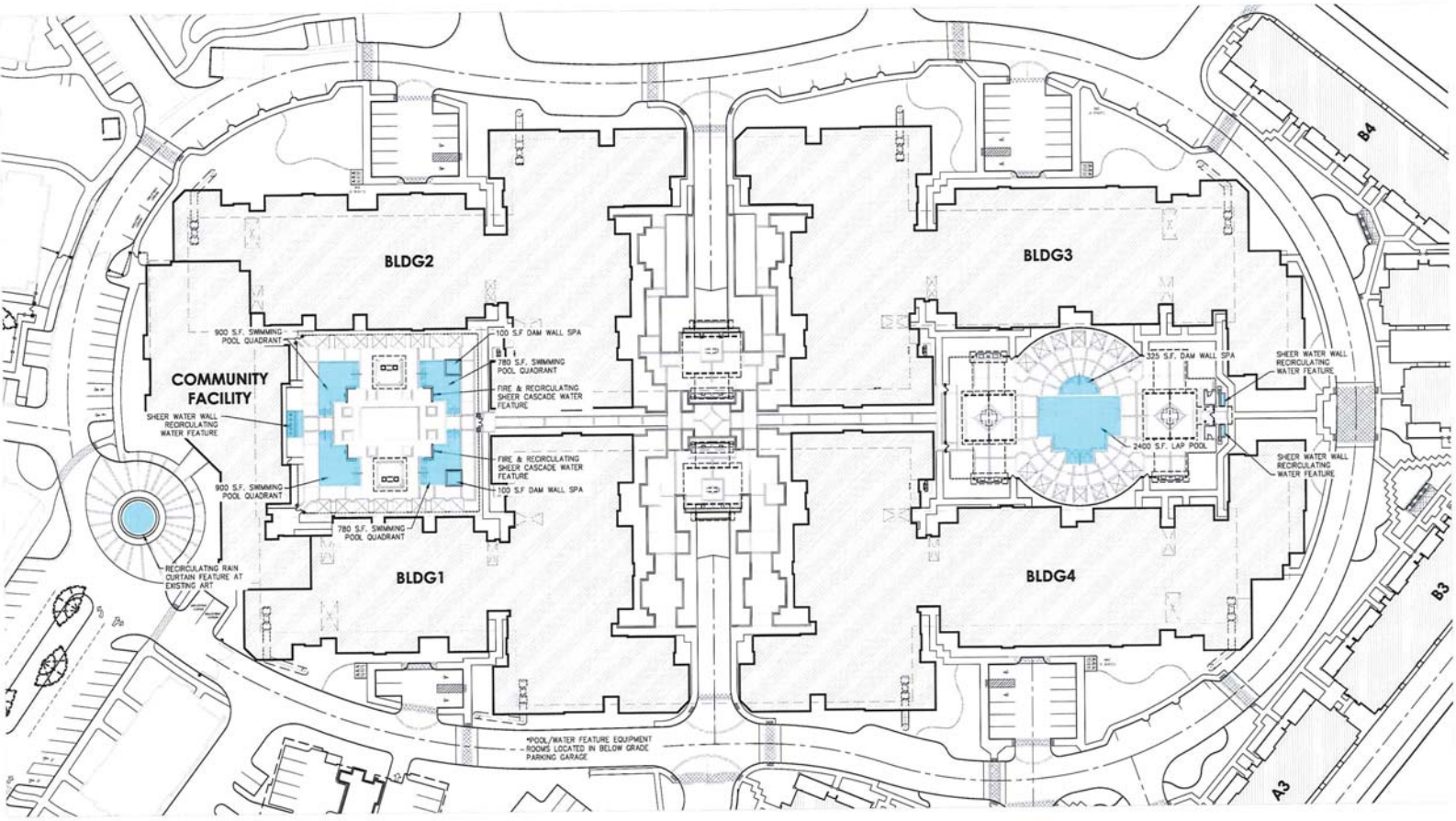

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Water Feature Plan

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L 7.0

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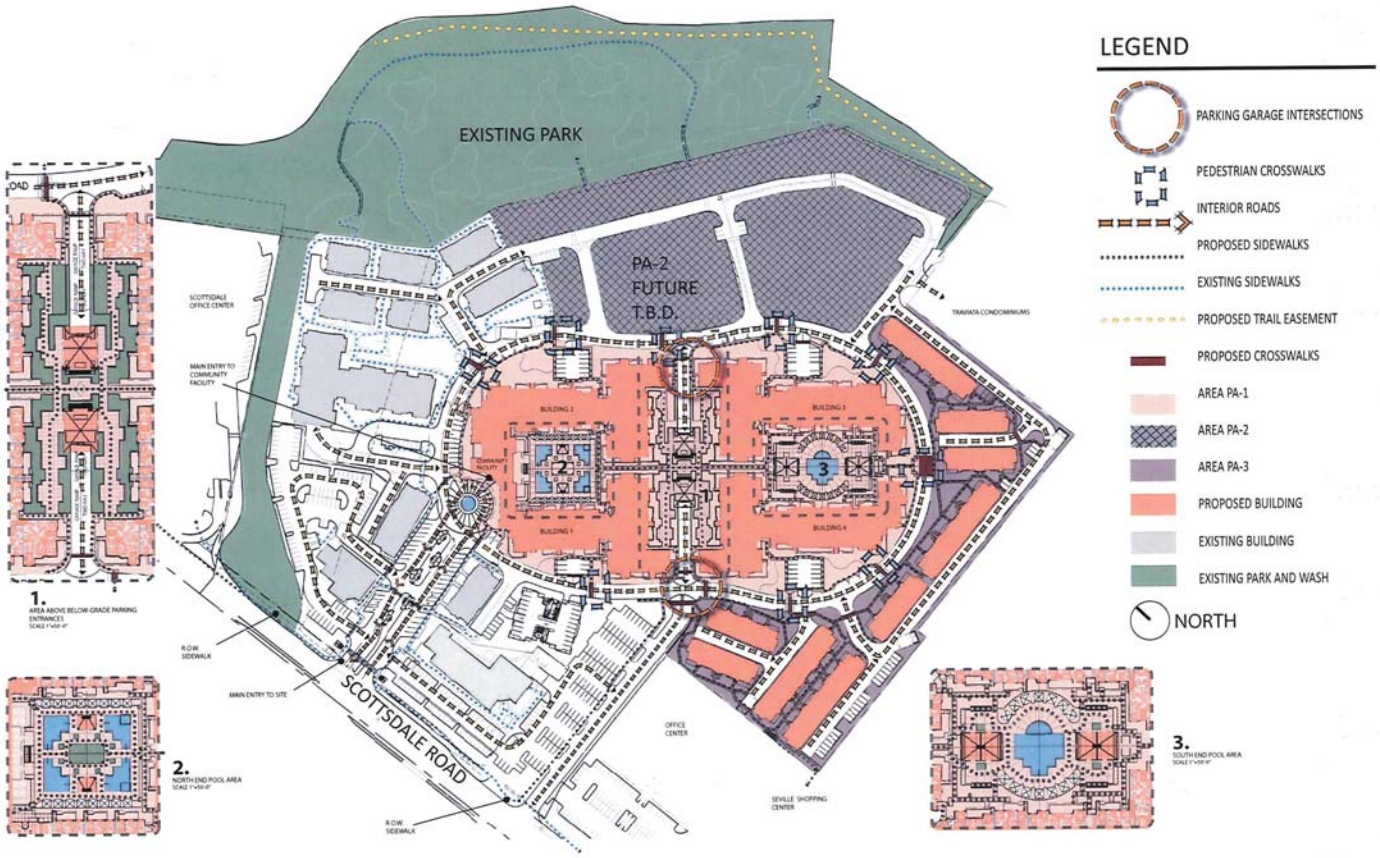

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Pedestrian Circulation Plan

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L 8.0

0 80 160 240 400
Scale : 1" = 80'-0" @ 24"x36"

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24 X 36

PA-1

COMMUNITY FACILITY

ILLUSTRATION - 1

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE . ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

ATTEST TO ARCHITECTURAL ONLY

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM. DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title

PA-1
COMMUNITY FACILITY
ILLUSTRATION-1

Sheet No.

IMG-1

16-DR-2017
7/13/17

24 X 36

PA-1

COMMUNITY FACILITY

ILLUSTRATION - 2

PROJECT ADDRESS :
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SCOTTSDALE . ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

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SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM. DATE
PLOT DATE

Project Number
BGA No. 15029

Sheet Title
PA-1
COMMUNITY FACILITY
ILLUSTRATION-2

Sheet No.
IMG-2

16-DR-2017
7/13/17

24 X 36

PA-1

COMMUNITY FACILITY

ILLUSTRATION - 3

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING

STAMP

ATTEST TO ARCHITECTURAL ONLY

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title

PA-1
COMMUNITY FACILITY
ILLUSTRATION-3

Sheet No

IMG-3

16-DR-2017
7/13/17

24 X 36

PA-1

COMMUNITY FACILITY

ILLUSTRATION - 1

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING

STAMP

ATTEST TO ARCHITECTURAL ONLY

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BID SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title

PA-1
COMMUNITY FACILITY
ILLUSTRATION-4

Sheet No :

IMG-4

16-DR-2017
7/13/17

24 X 36

PA-1

RESIDENTIAL

BUILDING ILLUSTRATION - 1

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE . ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA ROUP ARCHITECTURE

ARCHITECTURE · PLANNING · INTERIOR DESIGN
HISTORIC PRESERVATION · LEED VALUE ENGINEERING

STAMP

2018

ATTEST TO ARCHITECTURAL ONLY

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner :

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

PA-1 - RESIDENTIAL BUILDING ILLUSTRATION-1

Sheet No. :

IMG-1

16-DR-2017
7/13/17

24 X 36

PA-1

RESIDENTIAL

BUILDING ILLUSTRATION - 2

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING

STAMP

2016

ATTEST TO ARCHITECTURAL ONLY

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner :

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title

PA-1 - RESIDENTIAL BUILDING ILLUSTRATION-2

Sheet No.

IMG-2

16-DR-2017
7/13/17

24 X 36

PA-1

RESIDENTIAL

BUILDING ILLUSTRATION - 3

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

ARTIST TO ARCHITECTURAL ONLY

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	052117	DRB SUBMITTAL

PERMIT NO

BD SUBM DATE

PLOT DATE

Project Number

BGA No. 15029

Sheet Title

PA-1 - RESIDENTIAL BUILDING ILLUSTRATION-3

Sheet No.

IMG-3

16-DR-2017
7/13/17

24 X 36

PA-1

RESIDENTIAL

BUILDING ILLUSTRATION - 4

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

NOT FOR ARCHITECTURAL ONLY

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	052117	DRB SUBMITTAL

PERMIT NO
BD SUBM. DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title

PA-1 - RESIDENTIAL BUILDING ILLUSTRATION-4

Sheet No.

IMG-4

16-DR-2017
7/13/17

ELEVATION - "A" (COMMUNITY FACILITY)

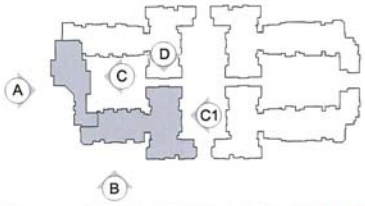
ELEVATION - "B" (COMMUNITY FACILITY/BLDG 1)

ELEVATION - "C1" (BLDG 1)

ELEVATION - "C" (COMMUNITY FACILITY)

1	Building - Wall Building - Veranda Edge Building - Wall Niche	
2	Fasica Foam - Residential Veranda Fascia Foam - Community Facility Entry	
3	Dbl Corbels with trim board behind Rafter Tail	
4	Stone - Building Wall Stone - Building Wall	
5	Stone - Garden Walls with stone cap Stone - Porte Cochere with stone cap	
6	Window / Door - Residential Units Window / Door - Community Facility	
7	Glazing - Door and Window	
8	Railing	
9	Porte Cochere Accent Grille	
10	Building Lighting	
11	Roof - Flat	
12	Roof - Flat Tile	

ELEVATION - "D" (BLDG 1)



ARCHITECT

BUCILLA GROUP ARCHITECTURE

STAMP

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

MID-RISE RESIDENTIAL BUILDING 1 THRU 4 (PA-1)

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDAIL ARIZONA

NO	DATE	DESCRIPTION

PERMIT NO	
60 SUBM DATE	03/01/17
PLOT DATE	03/01/17

Project Number

BGA No. 15029 (PA-1)

Sheet Title

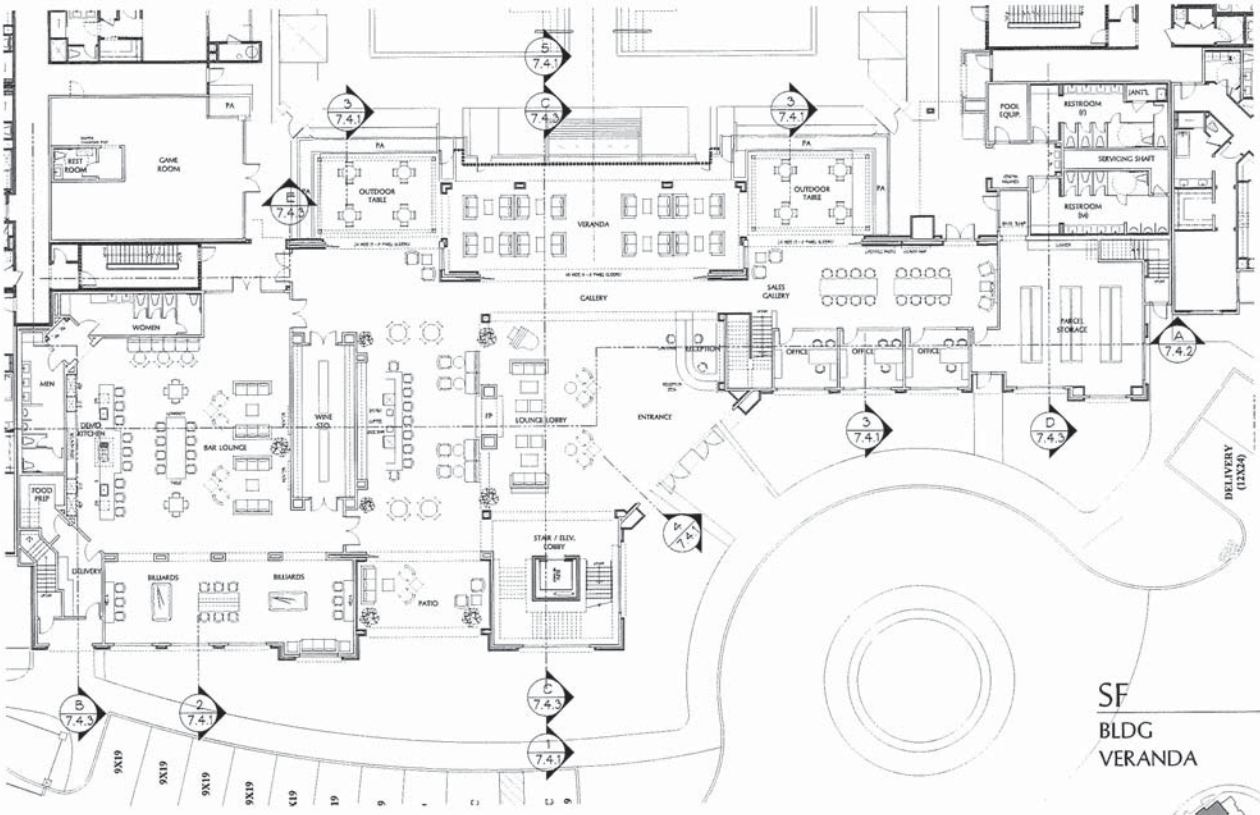
BUILDING ELEVATIONS
BUILDING 1 AND
COMMUNITY FACILITY

Sheet No

A-1.10

16-DR-2017
7/13/17

30 x 42

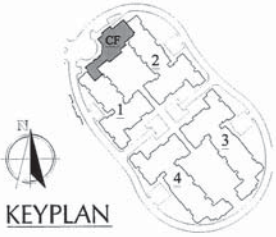


PA-1
FIRST FLOOR LEVEL
COMMUNITY FACILITY

SCALE 1/8" = 1'

SF

BLDG	13,270 SF
VERANDA	2,615 SF



KEYPLAN

ARCHITECT

BUCILLA GROUP ARCHITECTURE

STAMP

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

MID-RISE RESIDENTIAL

COMMUNITY FACILITY
(PA-1)

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDAL ARIZONA

NO	DATE	DESCRIPTION

PERMIT NO	
BID SUBM DATE	03/31/17
PLOT DATE	03/31/17

Project Number

BGA No. 15029 (PA-1)

Sheet Title

PA-1
COMMUNITY FACILITY
FIRST FLOOR LEVEL

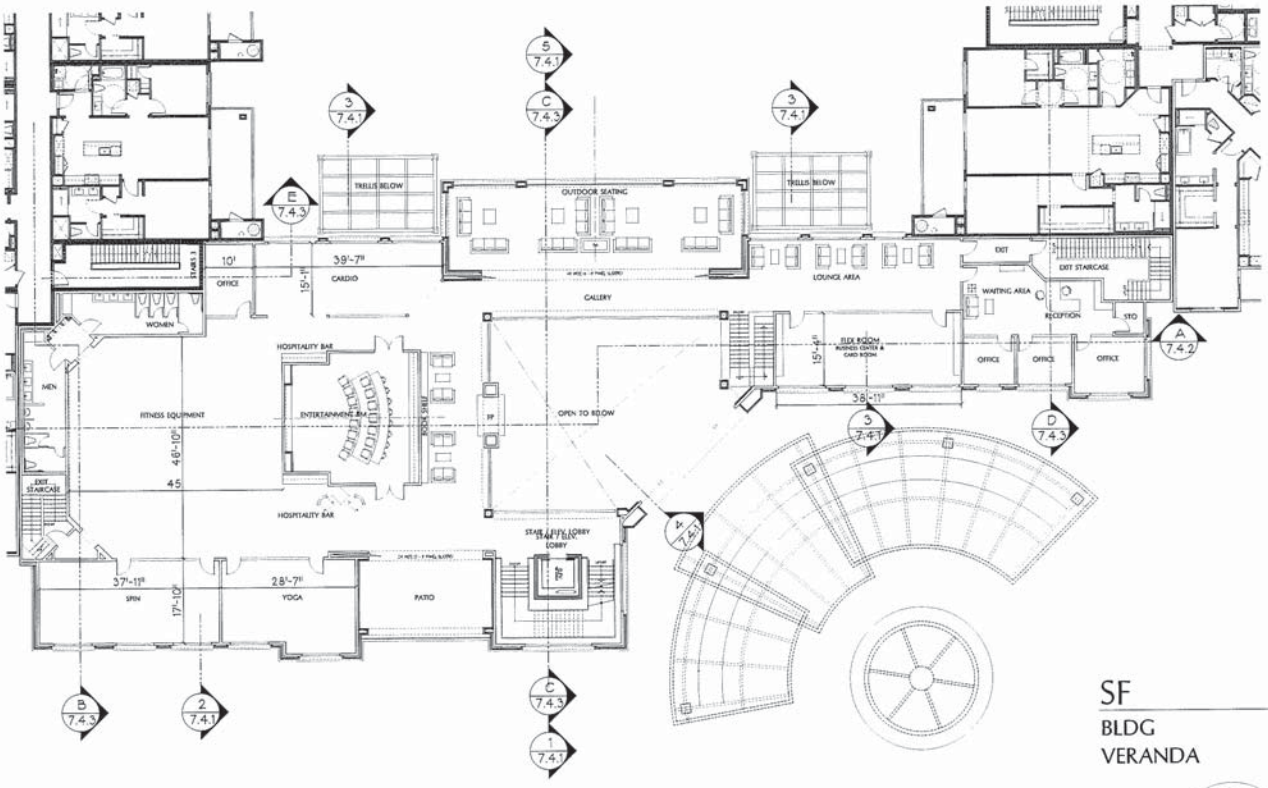
Sheet No

A-7.1

DRB SUBMITTAL

16-DR-2017
7/13/17

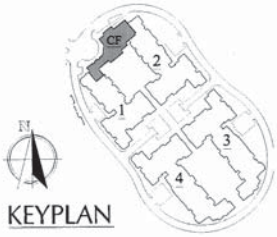
30 x 42



PA-1
SECOND FLOOR LEVEL
COMMUNITY FACILITY

SCALE 1/8" = 1'

SF	
BLDG	10,920 SF
VERANDA	1,670 SF



KEYPLAN

ARCHITECT
BUCILLA GROUP ARCHITECTURE

STAMP

Project
ARTESIA
7191 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

MID-RISE RESIDENTIAL
COMMUNITY FACILITY
(PA-1)

Owner
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION

PERMIT NO
BID SUBM DATE
PLOT DATE

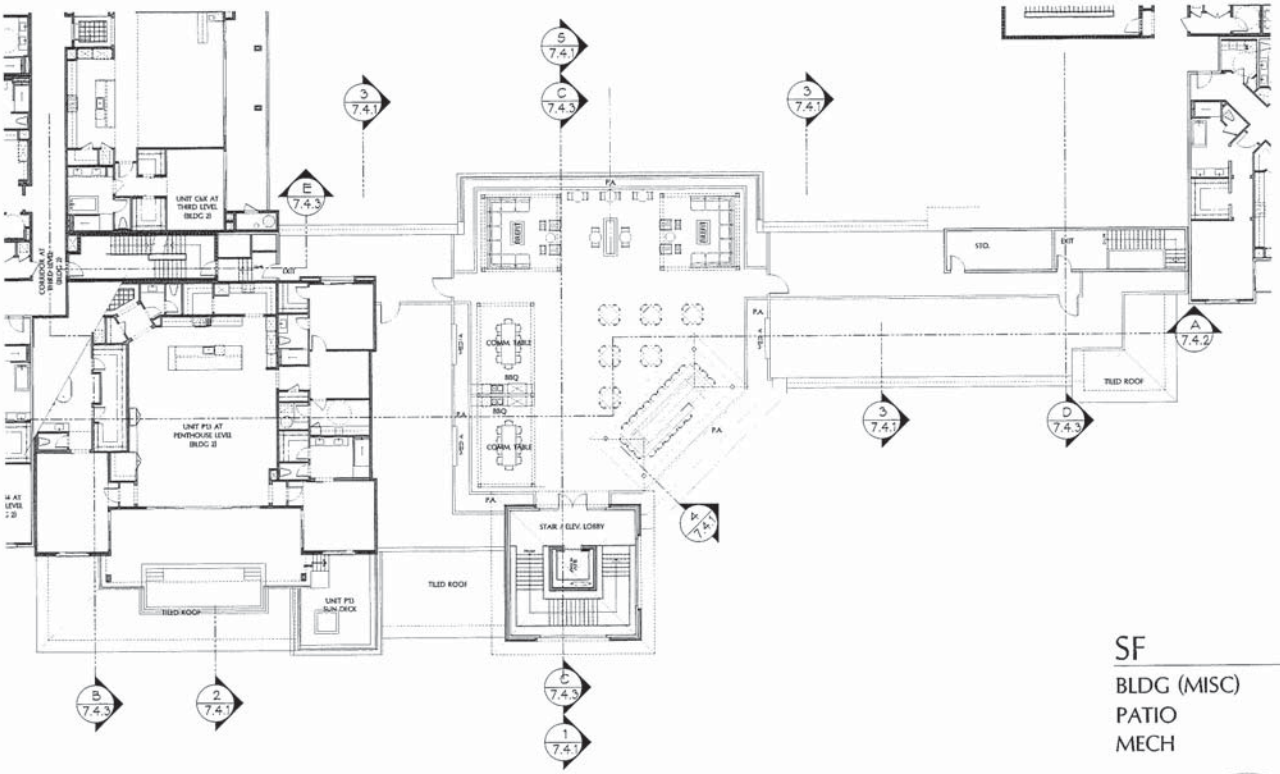
Project Number
BGA No. 15029 (PA-1)

Sheet Title
PA-1
COMMUNITY FACILITY
SECOND FLOOR LEVEL

Sheet No
A-7.2

16-DR-2017
7/13/17

30 x 42



PA-1
ROOF LEVEL
COMMUNITY FACILITY

SCALE 1/8" = 1'

SF

BLDG (MISC)	1,630 SF
PATIO	4,180 SF
MECH	3,040 SF

KEYPLAN

DR

16-DR-2017
7/13/17

ARCHITECT

BUCILLA GROUP ARCHITECTURE

STAMP

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

MID-RISE RESIDENTIAL
COMMUNITY FACILITY (PA-1)

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION

FORMAT NO.
BID SUBM. DATE 03/01/17
PLOT DATE 03/01/17

Project Number

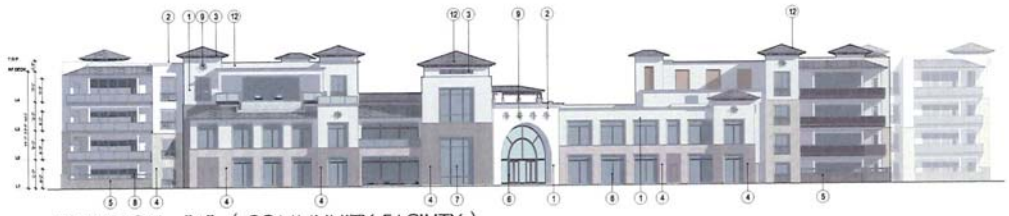
BGA No. 15029 (PA-1)

Sheet Title

PA-1
COMMUNITY FACILITY
ROOF DECK LEVEL

Sheet No.

A-7.3



ELEVATION - "A" (COMMUNITY FACILITY)

ELEVATION - "B" (COMMUNITY FACILITY/BLDG 1)

ELEVATION - "C1" (BLDG 1)

ELEVATION - "C" (COMMUNITY FACILITY)

1	Building - Wall Building - Veranda Edge Building - Wall Niche	
2	Fasica Foam - Residential Veranda Fascia Foam - Community Facility Entry	
3	Dbl Corbels with trim board behind Rafter Tail	
4	Stone - Building Wall Stone - Building Wall	
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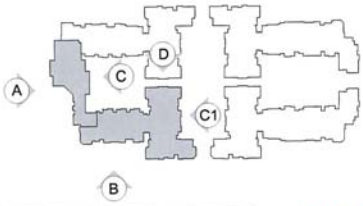
8	Railing	
9	Porte Cochere Accent Grille	
10	Building Lighting	
11	Roof - Flat	
12	Roof - Flat Tile	

ELEVATION - "D" (BLDG 1)



ARCHITECT

BUCILLA GROUP ARCHITECTURE

STAMP

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

MID-RISE RESIDENTIAL BUILDING 1 THRU 4 (PA-1)

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION

PERMIT NO
DD SUBM DATE 03/01/17
PLOT DATE 03/01/17

Project Number

BCA No. 15029 (PA-1)

Sheet Title

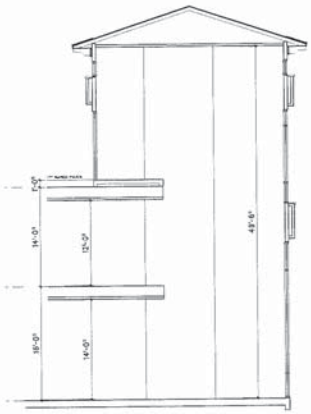
BUILDING ELEVATIONS
BUILDING 1 AND
COMMUNITY FACILITY

Sheet No

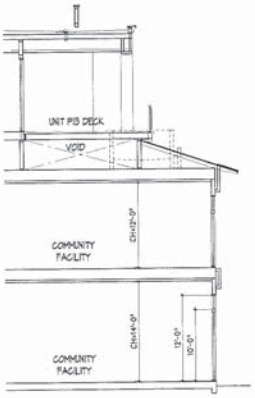
A-1.10

16-DR-2017
7/13/17

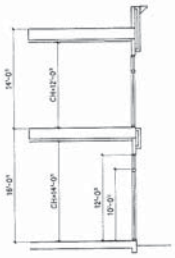
30 x 42



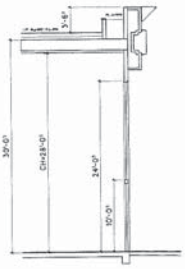
1
SECTION @ STAIR TOWER
SCALE 3/16" = 1'



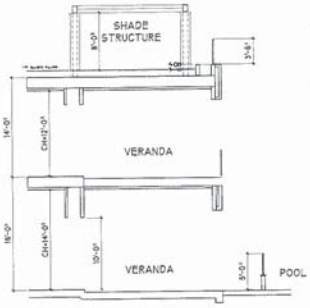
2
SECTION @ FRONT FACADE
(W/ ROOF AT UNIT P13)
SCALE 3/16" = 1'



3
SECTION @ FRONT FACADE
SCALE 3/16" = 1'



4
SECTION @ ENTRANCE
SCALE 3/16" = 1'



5
SECTION @ PATIO
SCALE 3/16" = 1'

COMMUNITY FACILITY CONCEPTUAL SECTIONS

KEYPLAN

16-DR-2017
7/13/17

ARCHITECT
BUCILLA GROUP ARCHITECTURE

STAMP

Project
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA
MID-RISE RESIDENTIAL
COMMUNITY FACILITY (PA-1)

Owner
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION

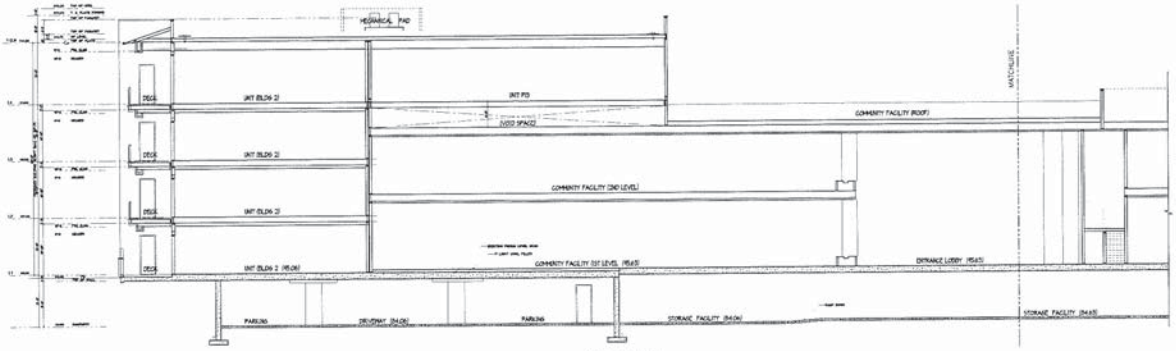
PERMIT NO	
BID SUBM DATE	03/31/17
PLOT DATE	03/31/17

Project Number
BGA No. 15029 (PA-1)

Sheet Title
SECTIONS COMMUNITY FACILITY

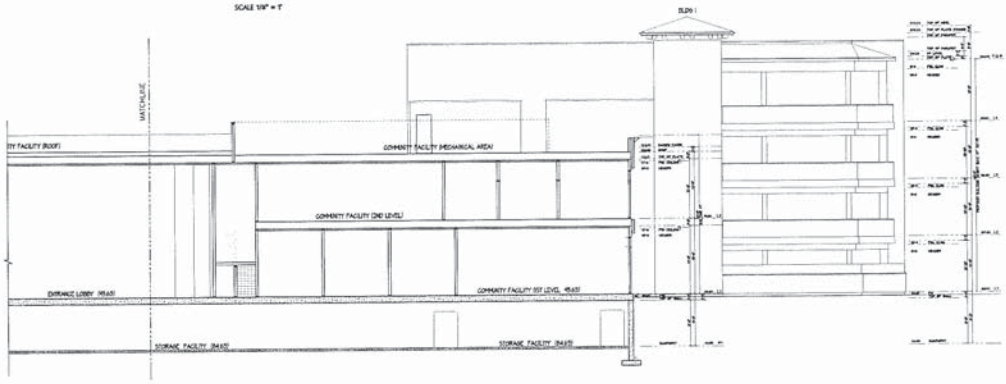
Sheet No
A-7.4.1 (CF)

30 x 42



SECTION A-A

SCALE 1/16" = 1'



SECTION A-A

SCALE 1/16" = 1'

COMMUNITY FACILITY CONCEPTUAL SECTIONS

KEYPLAN

DRI

16-DR-2017
7/13/17

ARCHITECT

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project

ARTESIA
701 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

MID-RISE RESIDENTIAL
COMMUNITY FACILITY
(PA-1)

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION

PERMIT NO

BID SUBM DATE 03/31/17

PLOT DATE 03/31/17

Project Number

BGA No. 15029 (PA-1)

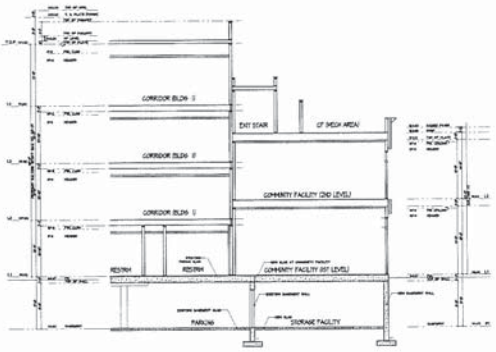
Sheet Title

SECTIONS
COMMUNITY
FACILITY

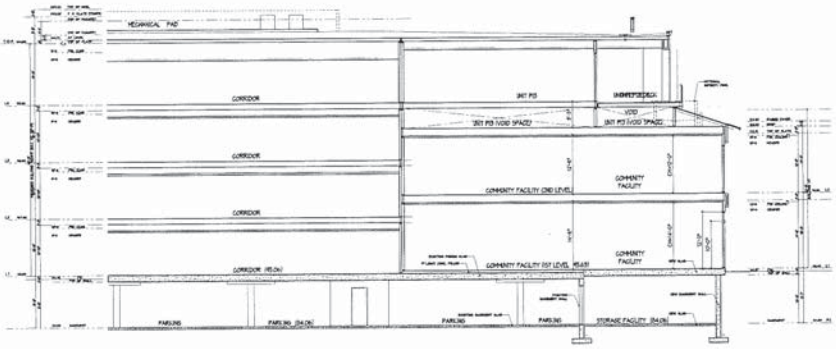
Sheet No

A-7.4.2 (CF)

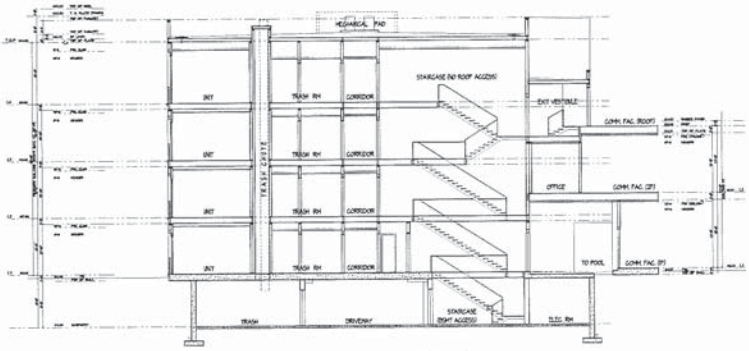
30 x 42



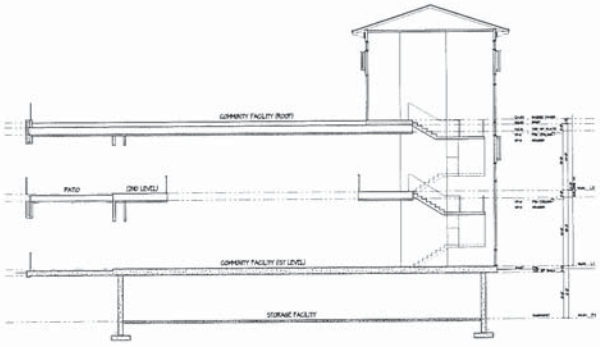
SECTION D-D
SCALE 1/8" = 1'



SECTION B-B
SCALE 1/8" = 1'



SECTION E-E
SCALE 1/8" = 1'



SECTION C-C
SCALE 1/8" = 1'

COMMUNITY FACILITY CONCEPTUAL SECTIONS

KEYPLAN

ARCHITECT

BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
INTERIOR RESTORATION LAND SCAPE ARCHITECTURE

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO. 22011
BRIAN E. BUCILLA
ARIZONA, U.S.A.
EXPIRES 06/30/2018

Project

ARTESIA
7191 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

MID-RISE RESIDENTIAL

COMMUNITY FACILITY (PA-1)

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION

PERMIT NO.	
90 SUBM. DATE	12/20/17
PLOT DATE	12/20/17

Project Number

BGA No. 15029 (PA-1)

Sheet Title

SECTIONS COMMUNITY FACILITY

Sheet No.

A-7.4.3 (CF)

16-DR-2017
7/13/17

30 x 42

PA-1

COMMUNITY FACILITY

ILLUSTRATION - 1

ARCHITECT

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project

ARTESIA
7191 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

MID-RISE RESIDENTIAL

COMMUNITY FACILITY
(PA-1)

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION

PERMIT NO.
BD SUBM DATE 03/31/17
PLOT DATE 03/31/17

Project Number

BGA No. 15029 (PA-1)

Sheet Title

PA-1
COMMUNITY FACILITY
ILLUSTRATION - 1

Sheet No.

IMG-1

16-DR-2017
7/13/17

30 x 42

PA-1

COMMUNITY FACILITY

ILLUSTRATION - 2

ARCHITECT

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

ARTESIA
7711 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

MID-RISE RESIDENTIAL
COMMUNITY FACILITY
(PA-1)

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION

PERMIT NO.
BD SUBM. DATE
PLOT DATE

Project Number
BGA No. 15029 (PA-1)

Sheet Title
PA-1
COMMUNITY FACILITY
ILLUSTRATION - 2

Sheet No.
IMG-2

16-DR-2017
7/13/17

30 x 42

PA-1

COMMUNITY FACILITY

ILLUSTRATION - 3

ARCHITECT

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

ARTEST TO ARCHITECTURAL ONLY

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

MID-RISE RESIDENTIAL

COMMUNITY FACILITY
(PA-1)

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION

PERMIT NO

BD SUBM DATE 03/31/17

PLOT DATE 03/31/17

Project Number

BGA No. 15029 (PA-1)

Sheet Title

PA-1
COMMUNITY FACILITY
ILLUSTRATION - 3

Sheet No

IMG-3

16-DR-2017
7/13/17

30 x 42

PA-1

COMMUNITY FACILITY

ILLUSTRATION - 4

ARCHITECT

BUCILLA GROUP ARCHITECTURE

STAMP

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

MID-RISE RESIDENTIAL

COMMUNITY FACILITY
(PA-1)

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION

PERMIT NO
BID SUBM DATE
PLOT DATE

Project Number

BGA No. 15029 (PA-1)

Sheet Title

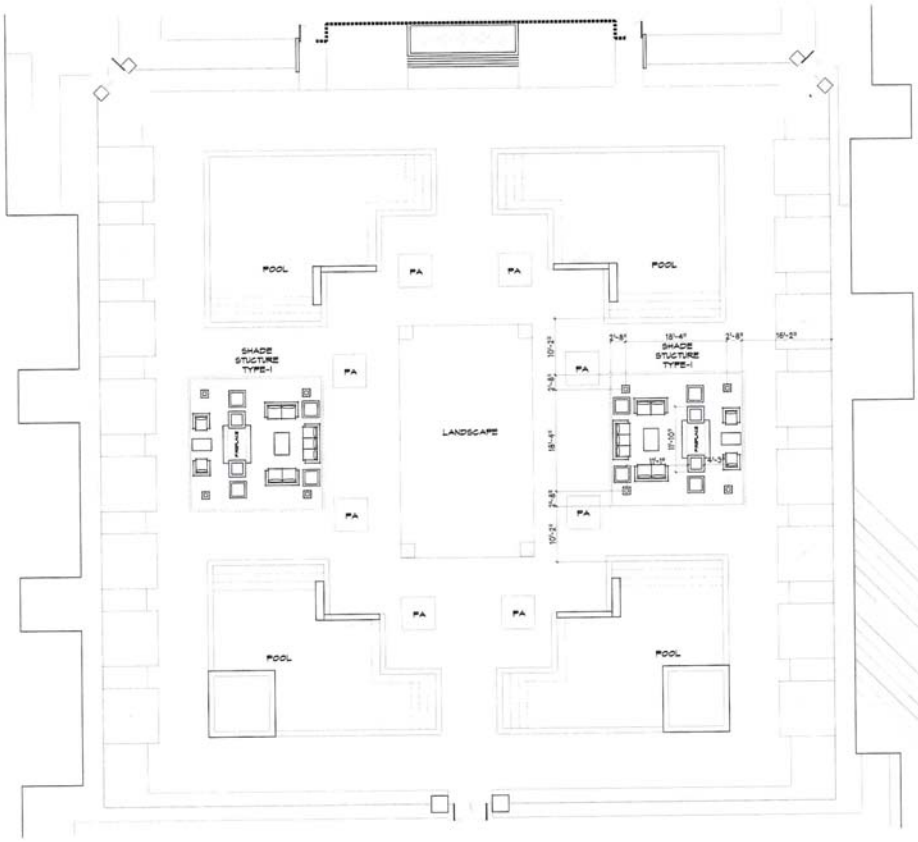
PA-1
COMMUNITY FACILITY
ILLUSTRATION - 4

Sheet No

IMG-4

16-DR-2017
7/13/17

24 X 36



PA-1

SHADE STRUCTURE TYPE - 1 PLAN

0 8' 24'

SCALE : 1/8" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM. DATE
PLOT DATE

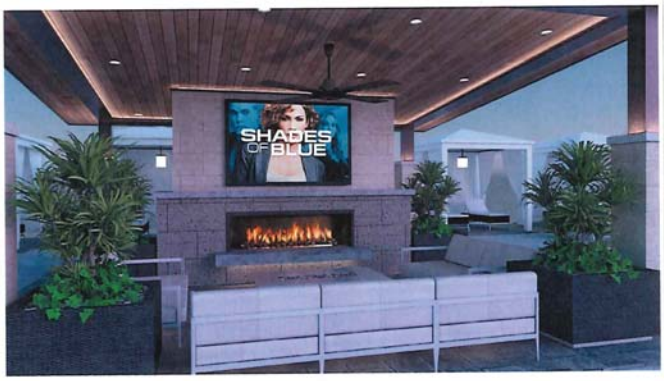
Project Number
BGA No. 15029

Sheet Title
PA-1
SHADE STRUCTURE
TYPE - 1
PLAN

Sheet No.
SS-1.0

16-DR-2017
7/13/17

24 X 36



PA-1

SHADE STRUCTURE
TYPE - 1
ILLUSTRATIONS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING

STAMP

ATTEST TO ARCHITECTURAL ONLY

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM. DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title

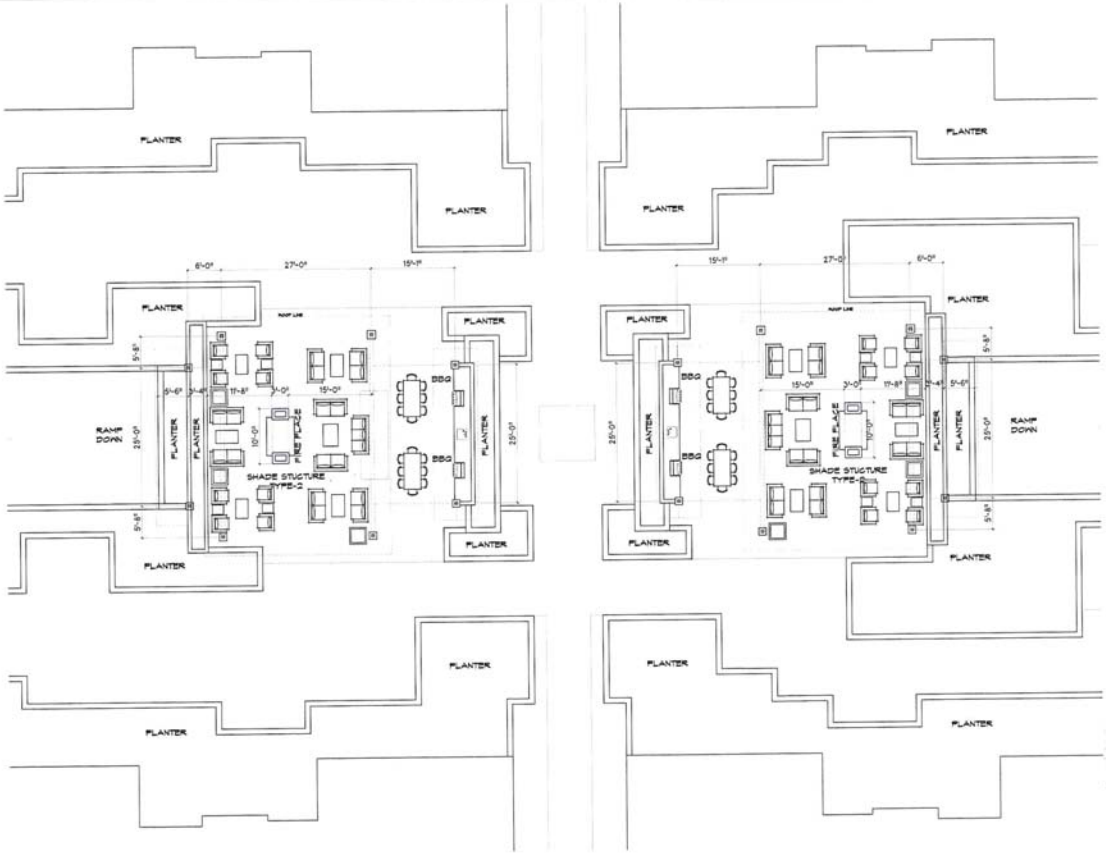
PA-1
SHADE STRUCTURE
TYPE - 1
ILLUSTRATIONS

Sheet No.

SS-1.1

16-DR-2017
7/13/17

24 X 36



PA-1

SHADE STRUCTURE TYPE - 2 PLAN

SCALE : 1/8" = 1'-0"

KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

Project:

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	06/01/17	DRB SUBMITTAL

PERMIT NO
BID SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title

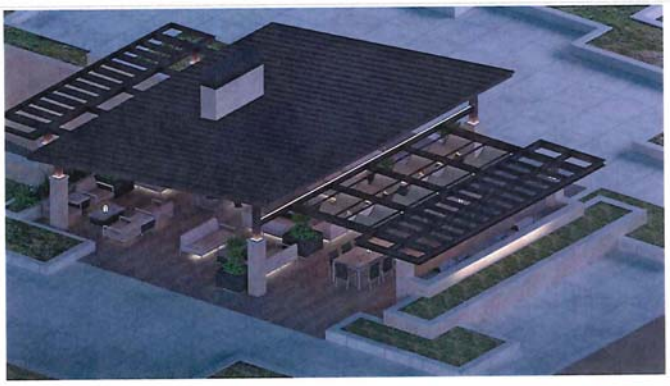
PA-1
SHADE STRUCTURE - 2
PLAN

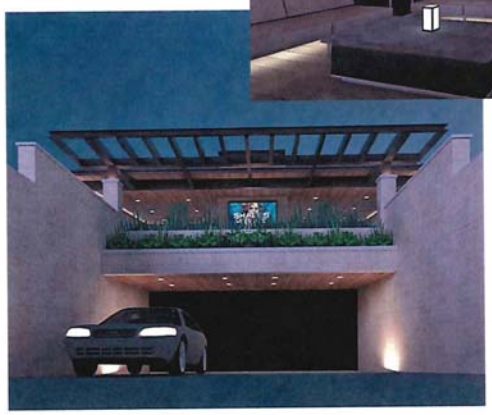
Sheet No.

SS-2.0

16-DR-2017
7/13/17

24 X 36





PA-1

SHADE STRUCTURE TYPE - 2 ILLUSTRATIONS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

Architecture Planning Interior Design
Historic Preservation Land Value Engineering

STAMP

2018

NOT VALID FOR ARCHITECTURAL ONLY

Project:

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	05/31/17	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title

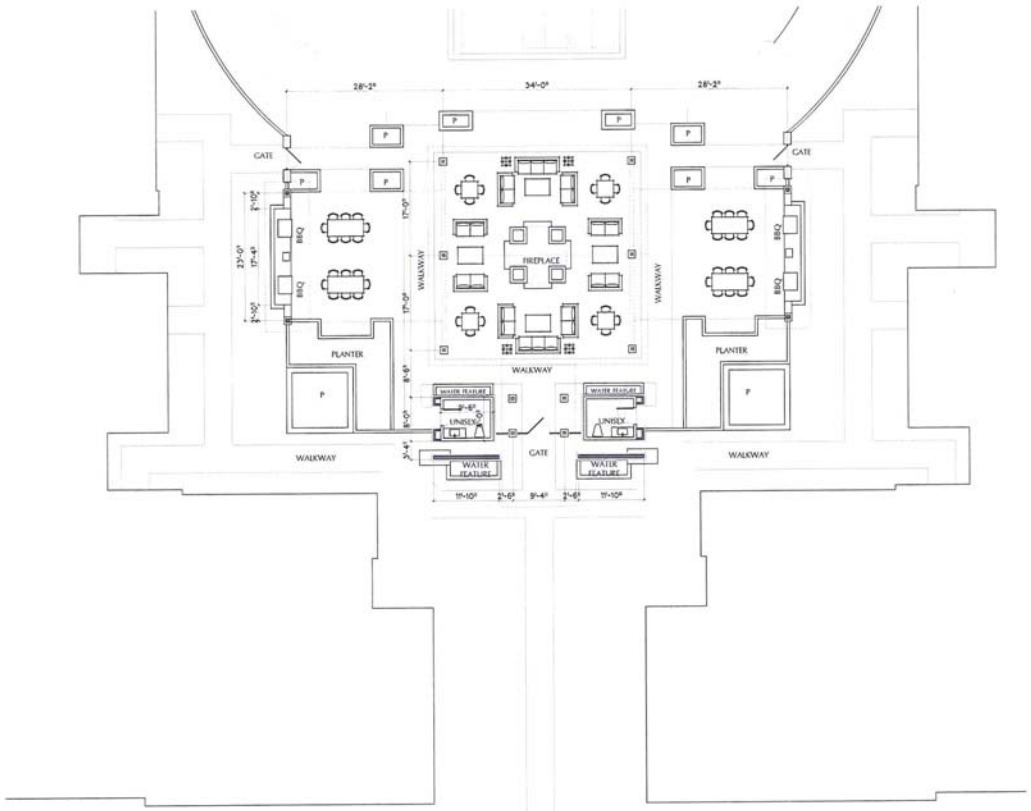
PA-1
SHADE STRUCTURE
TYPE - 2
ILLUSTRATIONS

Sheet No.

SS-2.1

16-DR-2017
7/13/17

24 X 36



PA-1

SHADE STRUCTURE TYPE - 3A PLAN

0 8' 24'

SCALE : 1/8" = 1'-0"

KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

ATTEST TO ARCHITECTURAL ONLY

Project:

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title

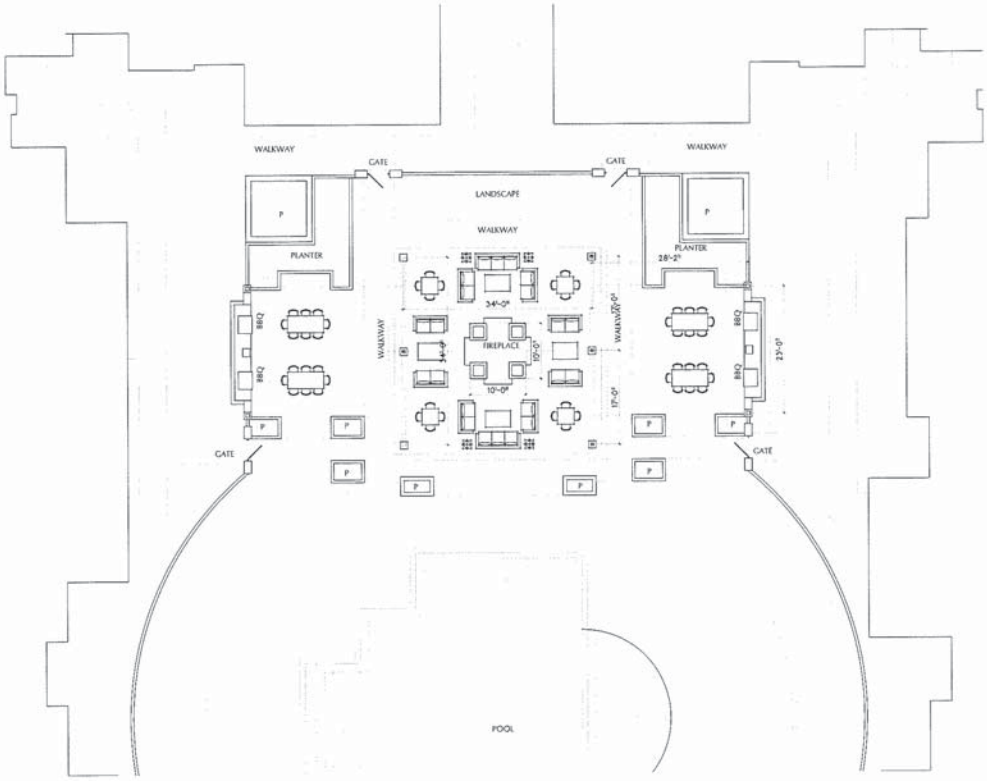
PA-1
SHADE STRUCTURE
TYPE - 3A
PLAN

Sheet No.

SS-3.0A

16-DR-2017
7/13/17

24 X 36



PA-1

SHADE STRUCTURE
TYPE - 3A PLAN

0 10' 24'
SCALE : 1/8" = 1'-0"

KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PILOT DATE

Project Number

BGA No. 15029

Sheet Title

PA-1
SHADE STRUCTURE
TYPE - 3B
PLAN

Sheet No

SS-3.0B

16-DR-2017
7/13/17

24 X 36

PA-1

SHADE STRUCTURE TYPE - 3 ILLUSTRATIONS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING

STAMP

2018

ATTEST TO ARCHITECTURAL ONLY

Project

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM. DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title

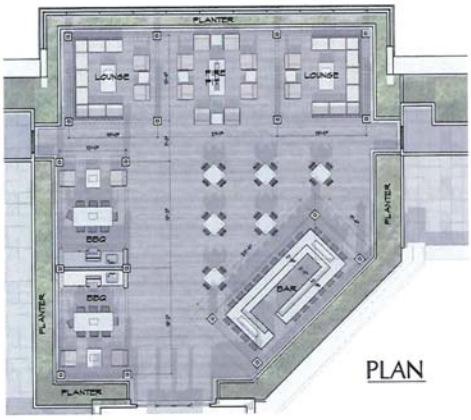
PA-1
SHADE STRUCTURE
TYPE - 3
ILLUSTRATIONS

Sheet No

SS-3.1

16-DR-2017
7/13/17

24 X 36



PLAN

PA-1

SHADE STRUCTURE - 4 @ ROOF DECK ILLUSTRATIONS

0 8' 24'
SCALE : 1/8" = 1'-0"

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-01-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

Architecture Planning Interior Design
Historic Preservation Land Value Engineering

STAMP

2018

ATTEST TO ARCHITECTURAL ONLY

Project:

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	052117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

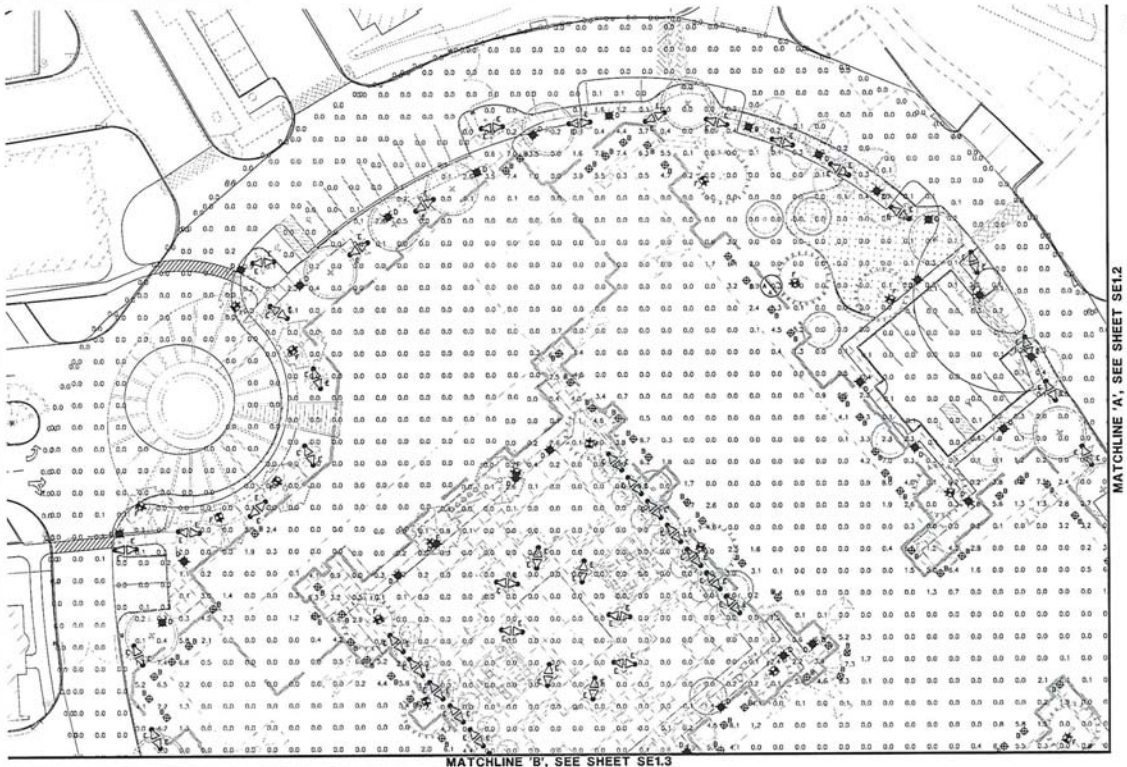
Sheet Title

PA-1
SHADE STRUCTURE - 4 @ ROOF DECK ILLUSTRATIONS

Sheet No.

SS-4.0

16-DR-2017
7/13/17



MATCHLINE 'A', SEE SHEET SE1.2

MATCHLINE 'B', SEE SHEET SE1.3

PHOTOMETRIC LEGEND

CALIFORNIA ACCENT LIGHTING MB/LED WW
LIGHT LABORATORY, INC. test report no. L081111301
lamp(s): WARM WHITE LED (3CSP 15x3)
candela file "L081113013.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.712, watts per luminaire = 17
number locations= 10, number luminaires= 10
kw all locations= 0.2
Occurrences: 19 at mounting height 5 ft

PRESCOLITE LF6LED04 WITH 6LFLED5C430K
CSA Group test report no. 8450 2673394-09
lamp(s): 36 x 7500 15W/830 (in Cove)
candela file "LF6LED04 WITH 6LFLED5C430K.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 14
mounting height= 10 ft
number locations= 241, number luminaires= 241
kw all locations= 3.5

VISTA PROFESSIONAL OUTDOOR LIGHTING 1503
LIGHT LABORATORY INC test report no. L04124202
lamp(s): 7205 WHITE LED
candela file "1503.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
mounting height= 4 ft
number locations= 27, number luminaires= 27
kw all locations= 0.4

KIM LIGHTING VSB1-10L3K
CCI test report no. KIM LIGHTING
lamp(s): MD14 215
backlit: TRC-025503505
candela file "vsb1-10l3k.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 13
mounting height= 2.3 ft
number locations= 94, number luminaires= 94
kw all locations= 1.2

VISTA PROFESSIONAL OUTDOOR LIGHTING 1162-AL-B-SP-E-W-AL-CX
LIGHT LABORATORY INC test report no. LI 1309-120
lamp(s): XXX
candela file "1162-AL-B-SP-E-W-AL-CX.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 9
number locations= 241, number luminaires= 241
kw all locations= 2.3

USTC, DBA VISTA PROFESSIONAL OUTDOOR LIGHTING 1043-X-13-W-WF
LIGHT LABORATORY, INC. test report no. LD13030DH
lamp(s): N/A
candela file "1043-X-13-W-WF.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
number locations= 94, number luminaires= 94
kw all locations= 0.6

PHOTOMETRIC RESULTS

Parking Lots
225 points
HORIZONTAL FOOTCANDLES
Average 0.8
Maximum 0.4
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 1.77

Outdoor Venue
42 points at z=0, sp. 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.2
Maximum 3.4
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var N/A
UniGrad N/A

Blanket
2905 points
HORIZONTAL FOOTCANDLES
Average 0.9
Maximum 8.0
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 2.08

North Pool
261 points at z=0, sp. 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.5
Maximum 2.1
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 2.32
UniGrad N/A

Loop Road
733 points at z=0, sp. 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.0
Maximum 1.6
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 11.00
UniGrad N/A

South Pool
303 points at z=0, sp. 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.3
Maximum 5.1
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 2.84
UniGrad N/A

Outdoor Lounge
48 points at z=0, sp. 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.1
Maximum 1.8
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 3.70
UniGrad N/A

Perimeter
250 points
120° CANDLES with meter facing (+y)
Average 0.0
Maximum 0.1
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 7.38

LIGHT FIXTURE SCHEDULE

KEY	SYMBOL	MANUFACTURER	CATALOG #	VOLTS	LAMP	CCT	LUMENS	FINISH COLOR
A	A	CALIFORNIA ACCENT LIGHTING	ML2000/24"/LED-2.7K/WET	120	0.3W LED	2700K	108/FT	N/A
W	W	20/29 INSIGHT	LS-LED30021-B	120	13W LED	3000K	1,156	WHITE
C	C	VISTA LIGHTING	1503/40/D2/W/WV/CP	120	10.4W LED	3000K	322	DARK BRONZE
D	D	KIM LIGHTING	VSB1/10L/3K/DB	120	13W LED	3000K	335	DARK BRONZE
E	E	VISTA LIGHTING	1162/AL/D2/S/B/W/120-277/AL/CX	120	9W LED	3000K	177	DARK BRONZE
F	F	VISTA LIGHTING	1043/D2/WF/30/D/WV/ND/	120	10W LED	3000K	687	DARK BRONZE

GRAPHIC SCALE
20 10 0 10 20 40
1 INCH = 20 FEET

NORTH

WRIGHT ENGINEERING PROJECT NO: 17006
DESIGN BY: DJC
DRAWN BY: DJC
CHECKED BY: CWT

WRIGHT engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
585 E. GRAND RD. PHOENIX, ARIZONA 85020
PHONE 602 870 1425 • FAX 602 870 1037
www.wrightengr.com

PROJECT: TITLE:
SCOTTSDALE, ARIZONA
ARTESIA
SCOTTSDALE RD AND INDIAN BEND
PHOTOMETRIC ANALYSIS

NO.	DATE	REVISIONS (DESCRIPTION)
1	10/11/17	DRB SUBMITTAL
2	10/31/17	DRB SUBMITTAL
3	11/07/17	DRB SUBMITTAL

DRAWING NO: SE1.1
OF 8

ARIZONA BLUE STAKE, INC. 8141 E. 811 ST 602-263-1100 1-800-STAKE-IT (ARIZOND WATCHES CAREFUL)

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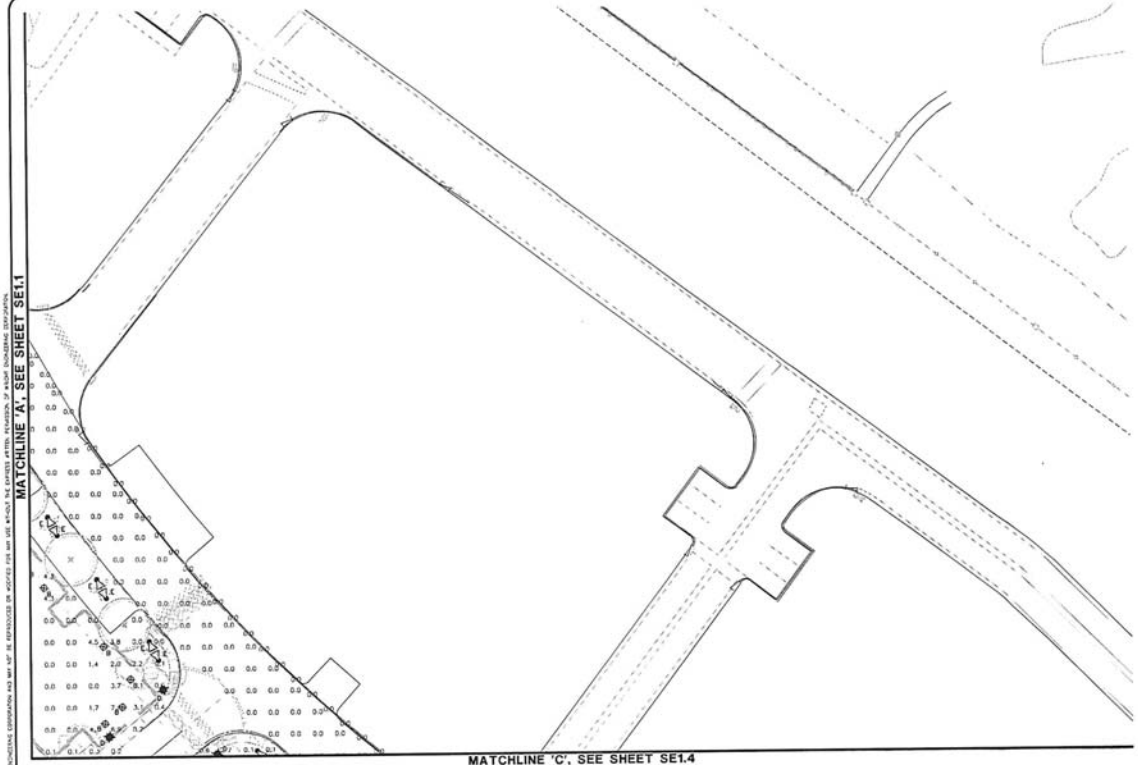
16-DR-2017
7/13/17



LIGHT FIXTURE SCHEDULE

KEY	SYMBOL	MANUFACTURER	CATALOG #	VOLTS	LAMP	CCT	LUMENS	FINISH COLOR
A		CALIFORNIA ACCENT LIGHTING	ML2000/24"/LED-2.7K/WCT	120	0.3W LED	2700K	106/FT	N/A
B		20/20 INSIGHT	ES-LL030021-B	120	15W LED	3000K	1,156	WHITE
C		VISTA LIGHTING	1503/AD/D2/W/WV/CP	120	10.4W LED	3000K	322	DARK BRONZE
D		KIM LIGHTING	VS01/10L/3K/DB	120	13W LED	3000K	335	DARK BRONZE
E		VISTA LIGHTING	1162/AL/D2/S/6/W/120-277/AL/CX	120	9W LED	3000K	177	DARK BRONZE
F		VISTA LIGHTING	1043/D2/WF/30/D/W/MD/	120	10W LED	3000K	687	DARK BRONZE

PHOTOMETRIC LEGEND

A — CALIFORNIA ACCENT LIGHTING MR/LED-WW
LIGHT LABORATORY, INC. test report no. LD811101
lamp(s): WARM WHITE LED LIGHT BULB
candela file "LD811101.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.712, watts per luminaire = 12
number locations= 13, number luminaires= 13
sw all locations= 0.2
Occurrences: 19 at mounting height 3 ft

B — PRESCOLITE LFFLEDGA WITH GLFLEDSGA30K
CDA Group test report no. MGG 26/39AK-09
lamp(s): Blue 1500 156/830 LD, Sand
candela file "LFFLEDGA WITH GLMLEDSGA30K.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 14
mounting height= 10 ft
number locations= 241, number luminaires= 241
sw all locations= 3.5

C — VISTA PROFESSIONAL OUTDOOR LIGHTING 1503
LIGHT LABORATORY INC test report no. LD1124202
lamp(s): COOL WHITE LED
candela file "1503.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
mounting height= 4 ft
number locations= 37, number luminaires= 37
sw all locations= 0.4

D — KIM LIGHTING VS01-10L3K
CDI test report no. KIM LIGHTING
lamp(s): NEO14 219
ballast: FRC-025S03S05
candela file "vs01-10L3K.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 13
mounting height= 2.5 ft
number locations= 94, number luminaires= 94
sw all locations= 1.2

E — VISTA PROFESSIONAL OUTDOOR LIGHTING 1162-AL-B-SP-S-W-AL-CX
LIGHT LABORATORY INC test report no. LU 1209-120
lamp(s): 9W
candela file "1162-AL-B-SP-S-W-AL-CX.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 9
number locations= 241, number luminaires= 241
sw all locations= 2.3

F — UCTE, DBA VISTA PROFESSIONAL OUTDOOR LIGHTING 1043-X-12-W-WF
LIGHT LABORATORY, INC test report no. LD1120.3008
lamp(s): N/A
candela file "1043-X-12-W-WF.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
number locations= 64, number luminaires= 64
sw all locations= 0.9

PHOTOMETRIC RESULTS

Parking Lots
355 points
HORIZONTAL FOOTCANDLES

Average	0.9
Maximum	6.4
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	1.77

Outdoor Venue
42 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.1
Maximum	0.2
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.64
UniGrad	N/A

Blanket
2805 points
HORIZONTAL FOOTCANDLES

Average	0.9
Maximum	8.0
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.08

North Pool
261 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.5
Maximum	7.1
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.30
UniGrad	N/A

Loop Road
737 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.0
Maximum	1.6
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	11.00
UniGrad	N/A

South Pool
360 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.3
Maximum	6.2
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.84
UniGrad	N/A

Outdoor Lounge
48 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.1
Maximum	1.8
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	3.70
UniGrad	N/A

Perimeter
350 points
FOOTCANDLES with meter facing (+z)

Average	0.0
Maximum	3.1
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	7.98

GRAPHIC SCALE
20 10 0 10 20 40
1 INCH = 20 FEET

NORTH

ARIZONA BLUE STAKE, INC.
Call before you dig
BLUE STAKE
602-263-1100
1-800-STAKE-IT
(8253-8473)

WRIGHT ENGINEERING PROJECT NO:
17006
DESIGN BY: DJC
DRAWN BY: DJC
CHECKED BY: CJS

WRIGHT engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
335 EAST CHILTON DRIVE, CHANDLER, ARIZONA 85225
PHONE (480) 963-5431 FAX (480) 963-5397
www.wright-eng.com

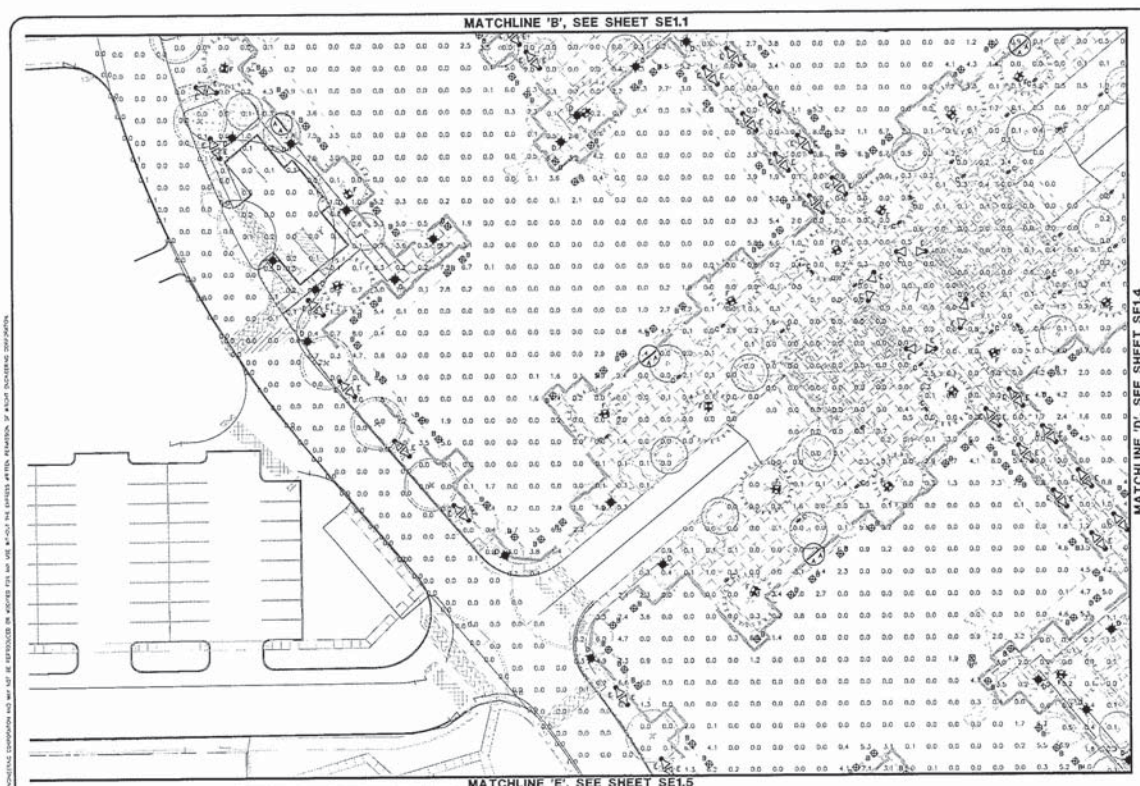
PROJECT: TITLE:
SCOTTSDALE, ARIZONA
ARTESIA
SCOTTSDALE RD AND INDIAN BEND
PHOTOMETRIC ANALYSIS

NO.	DATE	SUBMITTAL/REVISION DESCRIPTION
1	10/01/17	DRB SUBMITTAL
2	11/01/17	DRB SUBMITTAL
3	1/10/17	DRB SUBMITTAL

CHRISTOPHER J. SCHUTTE
CERTIFICATE NO. 33706
ARIZONA
12-31-17

DRAWING NO:
SE1.2
OF 8

16-DR-2017
7/13/17



PHOTOMETRIC LEGEND

A — CALIFORNIA ACCENT LIGHTING WS/LED-WW
LIGHT LABORATORY, INC. test report no. L081111J01
lamp(s) WARM WHITE LED LIGHT BULB
candela file "L081113013.ES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.712, watts per luminaire = 12
mounting height= 13, number luminaires= 15
kw all locations= 0.2
Occurrences: 19 at mounting height: 0 ft

B — PRESCOLITE LFULED04 WITH GLFLED50430X
CSA Group test report no. 8A02 2512936-09
lamp(s) 0.5W 1500 10W/830 10
candela file "LFULED04 WITH GLFLED50430X.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 14
mounting height= 10 ft
number locations= 241, number luminaires= 241
kw all locations= 3.3

C — VISTA PROFESSIONAL OUTDOOR LIGHTING 1563
LIGHT LABORATORY INC test report no. L071214202
lamp(s) COOL WHITE LED
candela file "1563.ES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
mounting height= 4 ft
number locations= 37, number luminaires= 37
kw all locations= 0.4

D — KW LIGHTING VS81-10L2K
CCI test report no. KW LIGHING
lamp(s) 3000K 210
socket: 1HC-0255G3535
candela file "vs81-10L2K.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 13
mounting height= 2.0 ft
number locations= 94, number luminaires= 94
kw all locations= 1.2

E — VISTA PROFESSIONAL OUTDOOR LIGHTING 1162-AL-D-SP-S-W-R-AL-CX
LIGHT LABORATORY INC test report no. LU 1209-120
lamp(s) 4XX
candela file "1162-AL-D-SP-S-W-R-AL-CX.KLS"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 9
number locations= 241, number luminaires= 241
kw all locations= 2.3

F — UGTC DBA VISTA PROFESSIONAL OUTDOOR LIGHTING 1043 X 13-W WF
LIGHT LABORATORY, INC. test report no. L071203001
lamp(s) N/A
candela file "1043-X-13-W WF.ES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
number locations= 94, number luminaires= 94
kw all locations= 0.6

PHOTOMETRIC RESULTS

Parking Lots
225 points
HORIZONTAL FOOTCANDLES
Average 0.3
Maximum 0.4
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 1.77

Outdoor Venue
47 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.2
Maximum 3.4
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 2.54
UniFGrad N/A

Basket
1000 points
HORIZONTAL FOOTCANDLES
Average 0.9
Maximum 4.0
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 2.08

North Pool
261 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.5
Maximum 7.1
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 2.55
UniFGrad N/A

Loop Road
232 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.3
Maximum 1.6
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 11.00
UniFGrad N/A

South Pool
300 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.3
Maximum 2.1
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 2.94
UniFGrad N/A

Outdoor Lounge
48 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.1
Maximum 1.6
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 3.00
UniFGrad N/A

Perimeter
350 points
FOOTCANDLES with meter facing (x,y)
Average 0.0
Maximum 0.6
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 7.98

LIGHT FIXTURE SCHEDULE

KEY	SYMBOL	MANUFACTURER	CATALOG #	VOLTS	LAMP	CCT	LUMENS	FINISH COLOR
A	A	CALIFORNIA ACCENT LIGHTING	WL2000/24"/LED-2.7K/WET	120	0.3W LED	2700K	106/FT	N/A
B	B	20/20 INSIGHT	ES-LED30021-N	120	15W LED	3000K	1,156	WHITE
C	C	VISTA LIGHTING	1563/AD/D2/W/WV/CP	120	10.4W LED	3000K	322	DARK BRONZE
D	D	KW LIGHTING	VS81/10L/24/DD	120	13W LED	3000K	335	DARK BRONZE
E	E	VISTA LIGHTING	1162/AL/D2/S/R/120-277/AL/CX	120	9W LED	3000K	177	DARK BRONZE
F	F	VISTA LIGHTING	1043/D2/WF/30/D/WV/ND/	120	10W LED	3000K	887	DARK BRONZE

NORTH

GRAPHIC SCALE
20 10 0 10 20 40
1 INCH = 20 FEET

CALIFORNIA REGISTERED PROFESSIONAL ENGINEER
ALAN R. WRIGHT
No. 18342
Exp. 6/30/17
ELECTRICAL
STATE OF CALIFORNIA

WRIGHT ENGINEERING PROJECT NO: 17006
DESIGN BY: DJE
DRAWN BY: DJE
CHECKED BY: CWT

WRIGHT engineering corporation
ELECTRICAL ENGINEERS • CONSULTING ENGINEERS
3851 E. STATE ST. • SUITE 100 • ROCKFORD, ILLINOIS 61108
PHONE: (815) 397-7425 • FAX: (815) 397-7597
A WOMAN OWNED BUSINESS

PROJECT: TITLE
SCOTTSDALE, ARIZONA
ARTESIA
SCOTTSDALE RD AND INDIAN BEND
PHOTOMETRIC ANALYSIS

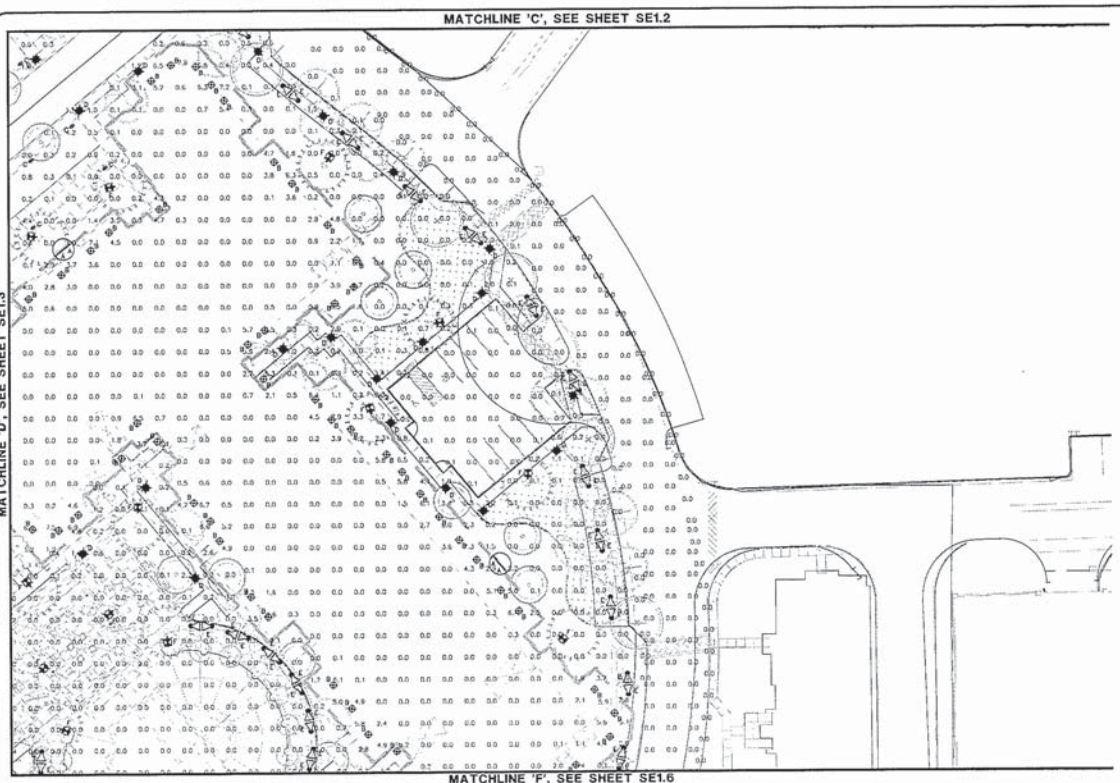
NO.	DATE	REVISIONS (DESCRIPTION)
1	10/07/17	CITY COMMENTS
2	10/07/17	PER CLIENT
3	10/07/17	PER CLIENT

DRAWING NO:
SE1.3
OF 8

16-DR-2017
7/13/17

MATCHLINE 'C', SEE SHEET SE1.2

MATCHLINE 'D', SEE SHEET SE1.3



MATCHLINE 'F', SEE SHEET SE1.6

PHOTOMETRIC LEGEND

A — CALIFORNIA ACCENT LIGHTING MR/LED-WW
LIGHT LABORATORY, INC. test report no. L0811130I
lamp(s): WARM WHITE LED LIGHT BULB
candela file "L0811130I.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.712, watts per luminaire = 12
number locations= 13, number luminaires= 13
lw at location= 0.2
Occurrences: 13 at mounting height 0 ft.

B — PRESCOLITE LFILED04 WITH GLFLEDDA30K
CDA Group test report no. B802 2N/2B3H-09
lamp(s): 18W 1500 15W/830 UL Gamma
candela file "LFILED04 WITH GLFLEDDA30K.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 14
mounting height= 30 ft
number locations= 211, number luminaires= 211
lw at location= 3.5

C — VISTA PROFESSIONAL OUTDOOR LIGHTING 1503
LIGHT LABORATORY INC test report no. L0417H202
lamp(s): COOL WHITE LED
candela file "1503.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
mounting height= 4 ft
number locations= 37, number luminaires= 37
lw at location= 0.4

D — KIM LIGHTING VS81-10L3K
CDI test report no. KIM LIGHTING
lamp(s): NECH4.215
ballast: TRC-025S035S
candela file "vs81-10L3K.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 13
mounting height= 23 ft
number locations= 54, number luminaires= 54
lw at location= 1.2

E — VISTA PROFESSIONAL OUTDOOR LIGHTING 1162-AL-02-SP-S-W-AL-CK
LIGHT LABORATORY INC test report no. L11 1209-12D
lamp(s): XXX
candela file "1162-AL-02-SP-S-W-AL-CK.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 9
number locations= 247, number luminaires= 247
lw at location= 2.3

F — VOTE: DBA VISTA PROFESSIONAL OUTDOOR LIGHTING 1043-X-13-W WF
LIGHT LABORATORY, INC. test report no. L0513S3G6H
lamp(s): N/A
candela file "1043-X-13-W-WF.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
number locations= 64, number luminaires= 64
lw at location= 0.8

PHOTOMETRIC RESULTS

Parking Lots		Outdoor Venue	
220 points		42 points at z=0, sp 10ft by 10ft	
HORIZONTAL FOOTCANDLES		HORIZONTAL FOOTCANDLES	
Average	0.3	Average	0.2
Maximum	0.6	Maximum	0.4
Minimum	N/A	Minimum	0.0
Avg/Min	N/A	Avg/Min	N/A
Max/Min	N/A	Max/Min	N/A
Coef Var	1.77	Coef Var	7.54
		UniGrad	N/A

Skatepark		North Pool	
3960 points		261 points at z=0, sp 10ft by 10ft	
HORIZONTAL FOOTCANDLES		HORIZONTAL FOOTCANDLES	
Average	0.9	Average	0.5
Maximum	8.0	Maximum	7.1
Minimum	0.0	Minimum	0.0
Avg/Min	N/A	Avg/Min	N/A
Max/Min	N/A	Max/Min	N/A
Coef Var	2.08	Coef Var	2.30
		UniGrad	N/A

Loop Road		South Pool	
733 points at z=0, sp 10ft by 10ft		350 points at z=0, sp 10ft by 10ft	
HORIZONTAL FOOTCANDLES		HORIZONTAL FOOTCANDLES	
Average	0.6	Average	0.3
Maximum	3.0	Maximum	0.3
Minimum	0.0	Minimum	0.0
Avg/Min	N/A	Avg/Min	N/A
Max/Min	N/A	Max/Min	N/A
Coef Var	11.00	Coef Var	2.84
UniGrad	N/A	UniGrad	N/A

Outdoor Lounge		Perimeter
48 points at z=0, sp 10ft by 10ft		2425 points
HORIZONTAL FOOTCANDLES		FOOTCANDLES with meter facing (+x)
Average	0.1	Average 3.0
Maximum	1.8	Maximum 31.1
Minimum	0.0	Minimum 0.0
Avg/Min	N/A	Avg/Min N/A
Max/Min	N/A	Max/Min N/A
Coef Var	3.70	Coef Var 1.38
UniGrad	N/A	

LIGHT FIXTURE SCHEDULE

KEY	SYMBOL	MANUFACTURER	CATALOG #	VOLTS	LAMP	CCT	LUMENS	FINISH COLOR
A	A	CALIFORNIA ACCENT LIGHTING	ML2000/24"/LED-2.7K/WCT	120	0.5W LED	2700K	106/FT	N/A
B	B	20/20 INSIGHT	ES-LED30021-B	120	13W LED	3000K	1,156	WHITE
C	C	VISTA LIGHTING	1503/AD/D2/W/WW/DP	120	10.4W LED	3000K	322	DARK BRONZE
D	D	KIM LIGHTING	VS81/10L/34/DB	120	13W LED	3000K	335	DARK BRONZE
E	E	VISTA LIGHTING	1162/AL/D2/S/B/W/120-277/AL/DK	120	9W LED	3000K	177	DARK BRONZE
F	F	VISTA LIGHTING	1043/D2/WF/30/D/W/WD/	120	10W LED	3000K	687	DARK BRONZE

NORTH

GRAPHIC SCALE
20 10 0 10 20 40
1 INCH = 20 FEET

ARIZONA BLUE STAKE, INC.
Call Before You Dig
Blue Stake, Inc.
602-263-1100
1-800-STAKE-IT
(Outside Maricopa County)

WRIGHT ENGINEERING PROJECT NO: 17006
DESIGN BY: DJC
DRAWN BY: DJC
CHECKED BY: CWT

WRIGHT engineering corporation
ELECTRICAL ENGINEERING • CONSULTING
185 EAST DATE STREET • CHANDLER, ARIZONA 85225
PHONE: 480-857-0100 FAX: 480-857-0107
www.wrightengr.com

PROJECT: TITLE
SCOTTSDALE, ARIZONA
ARTESIA
SCOTTSDALE RD AND INDIAN BEND
PHOTOMETRIC ANALYSIS

NO.	DATE	SUBMITTAL/REVISIONS (DESCRIPTION)
1	10/5/17	DRB SUBMITTAL
2	11/6/17	DRB SUBMITTAL
3	12/15/17	DRB SUBMITTAL

CHRISTOPHER WRIGHT
CERTIFICATE NO. 33576
ELECTRICAL
ARIZONA
12-15-17

DRAWING NO.
SE1.4
OF 8

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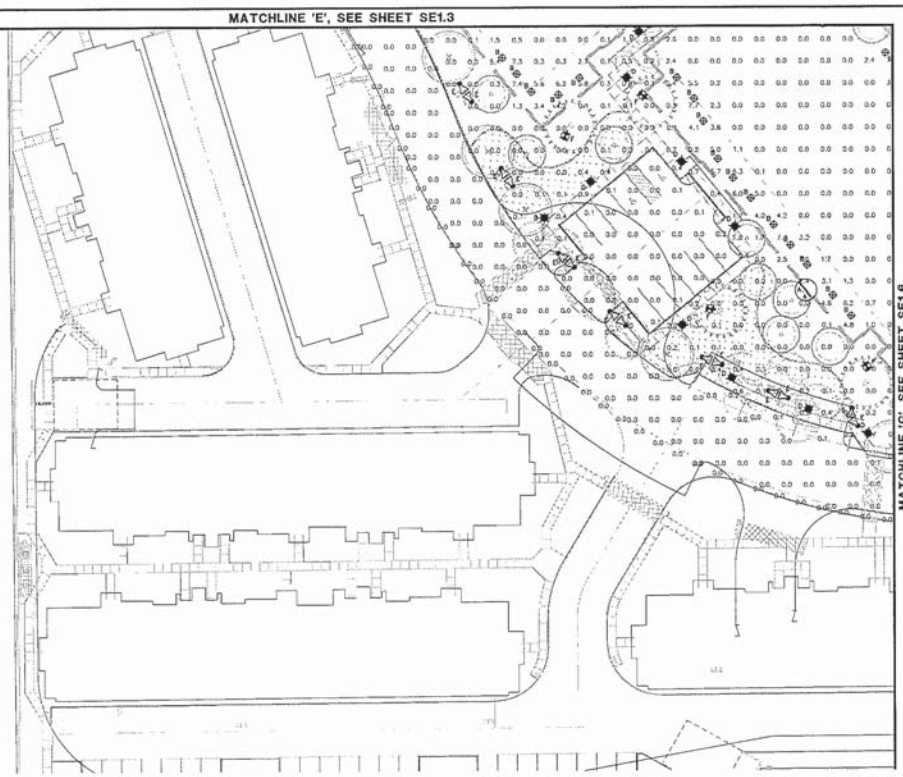
16-DR-2017
7/13/17

MATCHLINE 'E', SEE SHEET SE1.3



MATCHLINE 'G', SEE SHEET SE1.6

PHOTOMETRIC LEGEND

A — CALIFORNIA ACCENT LIGHTING MB/LED-WW
LIGHT LABORATORY, INC. test report no. L081113J01
lamp(s) WARM WHITE LED LGHT EMIT
candela file "L081113J01.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.712, watts per luminaire = 12
number locations= 19, number luminaires= 19
kw all locations= 0.2
Occurrences 19 all mounting height 0 ft

B — PRESCOLITE LFTLED04 WITH LFLED04X30K
CSA Group test report no. 8A08 261293H-09
lamp(s) 30 LED 1500 15W/830 3L Dim
candela file "LFTLED04 WITH LFLED04X30K.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 14
mounting height= 10 ft
number locations= 241, number luminaires= 241
kw all locations= 3.5

C — VISTA PROFESSIONAL OUTDOOR LIGHTING 1503
LIGHT LABORATORY INC test report no. L0412120J
lamp(s) COOL WHITE LED
candela file "1503.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
mounting height= 4 ft
number locations= 27, number luminaires= 27
kw all locations= 0.4

D — KIM LIGHTING VSB1-10LSK
CDA test report no. KIM LIGHTING
lamp(s) NICHIA 215
ballast: TMC-0295035DS
candela file "vsb1-10lsk.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 13
mounting height= 2.5 ft
number locations= 94, number luminaires= 94
kw all locations= 1.2

E — VISTA PROFESSIONAL OUTDOOR LIGHTING 1162-AL-D-SP-6-W-AL-CX
LIGHT LABORATORY INC test report no. LJ1 1209-125
lamp(s) XXX
candela file "1162-AL-D-SP-6-W-AL-CX.ICS"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 9
number locations= 241, number luminaires= 241
kw all locations= 2.3

F — UGTC, DBA VISTA PROFESSIONAL OUTDOOR LIGHTING 1043-X 13-W-WF
LGH11 LABORATORY, INC. test report no. L0G1160G01
lamp(s) N/A
candela file "1043-X-13 W-WF.ICS"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
number locations= 64, number luminaires= 64
kw all locations= 0.6

PHOTOMETRIC RESULTS

Parking Lots
225 points
HORIZONTAL FOOTCANDLES

Average	0.3
Maximum	0.4
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	1.77

Outdoor Venue
47 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.1
Maximum	0.4
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.64
UniGrad	N/A

Bypass
2805 points
HORIZONTAL FOOTCANDLES

Average	0.8
Maximum	9.0
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.08

North Pass
281 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.5
Maximum	7.1
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.30
UniGrad	N/A

Loop Road
733 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	2.2
Maximum	7.7
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	11.00
UniGrad	N/A

South Pass
303 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.3
Maximum	2.5
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.84
UniGrad	N/A

Outdoor Lounge
48 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.1
Maximum	1.8
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	3.50
UniGrad	N/A

Perimeter
250 points
FOOTCANDLES with meter facing (x,y,z)

Average	0.0
Maximum	0.1
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	7.38

LIGHT FIXTURE SCHEDULE

KEY	SYMBOL	MANUFACTURER	CATALOG #	VOLTS	LAMP	CCT	LUMENS	FINISH COLOR
A	A	CALIFORNIA ACCENT LIGHTING	ML2000/24"/LED-2.7K/WCT	120	0.5W LED	2700K	106/FT	N/A
B	B	20/20 INSIGHT	LS-ULD30021-B	120	15W LED	3000K	1,156	WHITE
C	C	VISTA LIGHTING	1503/AB/D2/W/WV/CP	120	10.4W LED	3000K	322	DARK BRONZE
D	D	KIM LIGHTING	VSB1/10L/3K/DD	120	13W LED	3000K	335	DARK BRONZE
E	E	VISTA LIGHTING	1162/AL/D2/S/6/W/120-277/AL/CX	120	9W LED	3000K	177	DARK BRONZE
F	F	VISTA LIGHTING	1043/D2/WF/30/D/WV/ND/	120	10W LED	3000K	687	DARK BRONZE

GRAPHIC SCALE
20 10 0 10 20 40
1 INCH = 20 FEET
NORTH

ARIZONA BLUE STAKE, INC.
8341 N. 85TH WAY
SCOTTSDALE, AZ 85258
602-263-1100
1-800-STAKE-IT
(AFTER NORMAL BUSINESS HOURS)

WRIGHT ENGINEERING PROJECT NO: 17006
DESIGN BY: DJF
DRAWN BY: DJF
CHECKED BY: CWT

WRIGHT engineering corporation
ELECTRICAL ENGINEERING DESIGN
355 EAST CAMELBACK ROAD, PHOENIX, ARIZONA 85012
PHONE 602 957 1525 • FAX 602 285 5707
WWW.WRIGHTENGCORP.COM

PROJECT: SCOTTSDALE, ARIZONA
ARTESIA
SCOTTSDALE RD AND INDIAN BEND

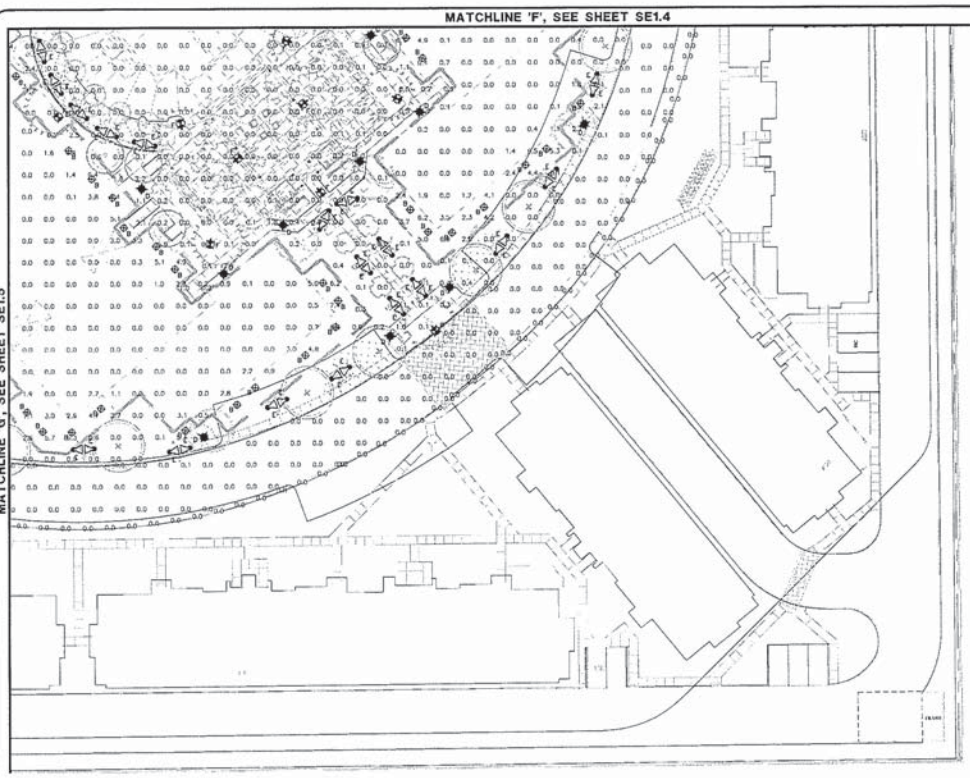
TITLE: PHOTOMETRIC ANALYSIS

NO.	DATE	DESCRIPTION/REVISIONS (DESCRIPTION)
1	1/31/17	DRB SUBMITTAL
2	3/13/17	DRB SUBMITTAL
3	5/15/17	DRB SUBMITTAL
4	7/13/17	DRB SUBMITTAL

DRAWING NO: SE1.5
OF 3

16-DR-2017
7/13/17

MATCHLINE 'F', SEE SHEET SE1.4



MATCHLINE 'G', SEE SHEET SE1.5

LIGHT FIXTURE SCHEDULE

KEY	SYMBOL	MANUFACTURER	CATALOG #	VOLTS	LAMP	CCT	LUMENS	FINISH COLOR
A	A	CALIFORNIA ACCENT LIGHTING	WL2000/24"/LED-2.7K/WCT	120	0.3W LED	2700K	106/FT	N/A
B	B	20/20 INSIGHT	ES-LED30021-B	120	15W LED	3000K	1,156	WHITE
C	C	VISTA LIGHTING	1503/AD/D2/W/WV/CP	120	10.4W LED	3000K	322	DARK BRONZE
D	D	KIM LIGHTING	V531/10L/3K/DD	120	13W LED	3000K	335	DARK BRONZE
E	E	VISTA LIGHTING	1162/AL/D2/S/6/W/120-277/AL/CX	120	9W LED	3000K	177	DARK BRONZE
F	F	VISTA LIGHTING	1043/D2/WF/30/B/WV/ND/	120	10W LED	3000K	687	DARK BRONZE

PHOTOMETRIC LEGEND

A — CALIFORNIA ACCENT LIGHTING WO/LED-WW
LIGHT LABORATORY, INC. test report no. LD8111301
lamp(s) WARM WHITE LED LIGHT BULB
candela file "LD8111301.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.712, watts per luminaire = 12
number locations= 13, number luminaires= 13
kw all locations= 0.2
Occurrences: 19 at mounting height 0 ft

B — PRESCOLITE LFELED04 WITH GLFLED05430K
CDI Group N/A report no. BKGG 26/389K-09
lamp(s) 3Lm 1500 15W/830 UL Gen4
candela file "LFELED04 WITH GLFLED05430K.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 14
mounting height= 10 ft
number locations= 241, number luminaires= 241
kw all locations= 3.5

C — VISTA PROFESSIONAL OUTDOOR LIGHTING 1503
LIGHT LABORATORY INC test report no. LD8124202
lamp(s) COOL WHITE LED
candela file "1503.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
mounting height= 8 ft
number locations= 27, number luminaires= 27
kw all locations= 0.4

D — KIM LIGHTING V531-10L3K
CDI test report no. KIM LIGHTING
lamp(s) NICHIA 219
ballast: TRC-0250503035
candela file "kim1-10L3K.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 13
mounting height= 3.5 ft
number locations= 34, number luminaires= 34
kw all locations= 1.2

E — VISTA PROFESSIONAL OUTDOOR LIGHTING 1162-AL-D-SP-S-W-AL-CX
LIGHT LABORATORY INC test report no. LD 1300-12B
lamp(s) XXX
candela file "1162-AL-D-SP-S-W-AL-CX.ILS"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 9
number locations= 241, number luminaires= 241
kw all locations= 2.3

F — UGTE, DBA VISTA PROFESSIONAL OUTDOOR LIGHTING 1043-X-13-W-WF
LIGHT LABORATORY, INC. test report no. LD3150.30KH
lamp(s) N/A
candela file "1043-X-13-W-WF.IES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 10
number locations= 64, number luminaires= 64
kw all locations= 0.6

PHOTOMETRIC RESULTS

Parking Lots
225 points
HORIZONTAL FOOTCANDLES

Average	0.9
Maximum	8.4
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	1.17

Outdoor Venue
400 points at z=0, sp. 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.3
Maximum	3.4
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.64
UniffGrad	N/A

Blacket
2665 points
HORIZONTAL FOOTCANDLES

Average	0.9
Maximum	8.0
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.08

North Pool
265 points at z=0, sp. 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.5
Maximum	7.1
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.30
UniffGrad	N/A

Loop Road
733 points at z=0, sp. 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.0
Maximum	1.6
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	11.00
UniffGrad	N/A

South Pool
165 points at z=0, sp. 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.3
Maximum	0.1
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.84
UniffGrad	N/A

Outdoor Lounge
48 points at z=0, sp. 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	0.1
Maximum	1.8
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	3.30
UniffGrad	N/A

Perimeter
250 points
FOOTCANDLES with meter facing (+z)

Average	0.0
Maximum	0.1
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	7.98

NORTH

GRAPHIC SCALE
20 10 0 10 20 40
1 INCH = 20 FEET

ARIZONA BLUE STAKE, INC.
Call 811 or
602-263-1100
1-800-STAKE-IT
(of your actual cost)

WRIGHT ENGINEERING PROJECT NO:
17006
DESIGN BY: DJC
DRAWN BY: DJC
CHECKED BY: CMT

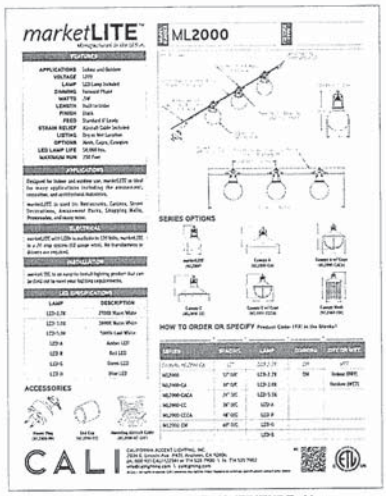
WRIGHT engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
385 E. COLORADO BLVD. PASADENA, CA 91101
PHONE 626.821.1323 • FAX 626.821.1327
www.wrightengcorp.com

PROJECT: TITLE:
SCOTTSDALE, ARIZONA
ARTESIA
SCOTTSDALE RD AND INDIAN BEND
PHOTOMETRIC ANALYSIS

NO.	DATE	REVISION DESCRIPTION
1	10/31/17	IES SUBMITTAL
2	11/07/17	IES SUBMITTAL
3	11/07/17	IES SUBMITTAL

DRAWING NO:
SE1.6
OF 8

16-DR-2017
7/13/17



FESTOON LIGHT SPECIFICATION (FIXTURE A)

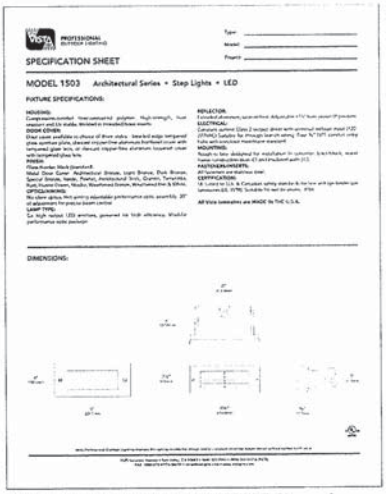
NO SCALE

BUILDING MOUNTED

DOWNLIGHT SPECIFICATION (FIXTURE B)

NO SCALE

BUILDING MOUNTED



NICHE LIGHT SPECIFICATION (FIXTURE C)

NO SCALE

BUILDING MOUNTED

WRIGHT ENGINEERING PROJECT NO: 17006

DESIGN BY: DJE
DRAWN BY: DJE
CHECKED BY: CWT

WRIGHT engineering corporation

PROJECT: TITLE:

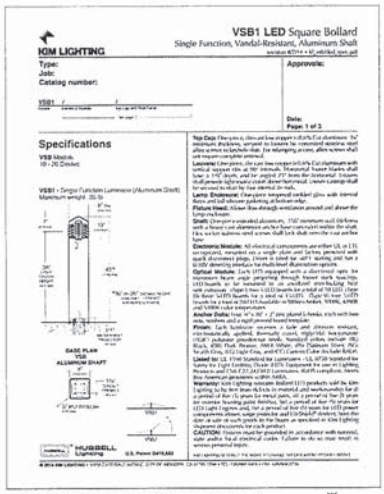
SCOTTSDALE, ARIZONA
ARTESIA
SCOTTSDALE RD AND INDIAN BEND

LIGHTING SPECIFICATIONS

NO.	DATE	REVISIONS
1	10/04/16	DRB SUBMITTAL
2	12/05/16	DRB SUBMITTAL
3	1/20/17	DRB SUBMITTAL
4	7/13/17	DRB SUBMITTAL

DRAWING NO:
SE2.1
OF 8

16-DR-2017
7/13/17



VSB1 LED Square Bollard
Single Function, Vandal-Resistant, Aluminum Shaft

KIM LIGHTING

Type:
Job:
Catalog number:

Approvals:

Date:
Page: 1 of 3

Specifications

VSB Models
10 - 20 Diodes

VSB1 - Single Function Luminaire (Aluminum Shaft)
Maximum weight: 20 lb

BASE PLAN
VSB
ALUMINUM SHAFT

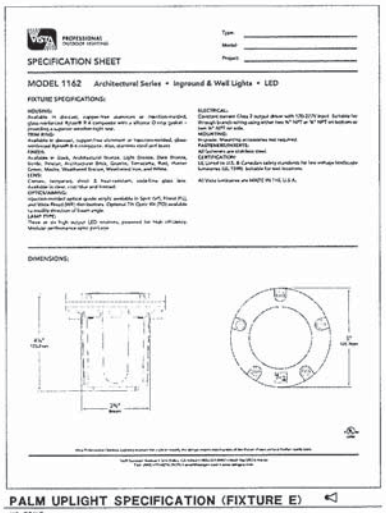
HUBBELL Lighting

U.S. Patent D475,843

BOLLARD SPECIFICATION (FIXTURE D)

NO SCALE

FREE STANDING



PROFESSIONAL OUTDOOR LIGHTING

Type:
Model:
Project:

SPECIFICATION SHEET

MODEL 1162 Architectural Series • Inground & Wall Lights • LED

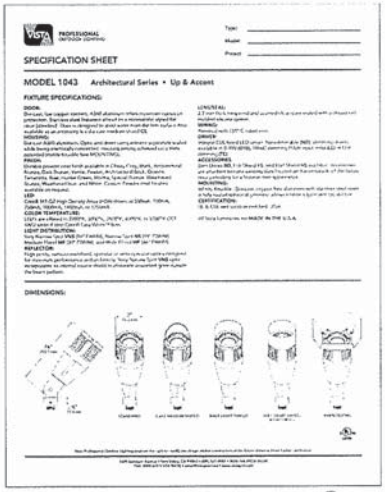
FIXTURE SPECIFICATIONS:

DIMENSIONS:

PALM UPLIGHT SPECIFICATION (FIXTURE E)

NO SCALE

FREE STANDING



PROFESSIONAL OUTDOOR LIGHTING

Type:
Model:
Project:

SPECIFICATION SHEET

MODEL 1043 Architectural Series • Up & Accent

FIXTURE SPECIFICATIONS:

DIMENSIONS:

TREE UPLIGHT SPECIFICATION (FIXTURE F)

NO SCALE

FREE STANDING

WRIGHT ENGINEERING PROJECT NO. 17006

DESIGN BY: DJC
DRAWN BY: DJC
CHECKED BY: CWT

WRIGHT engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
355 E. CAPITOL AVENUE, PHOENIX, ARIZONA 85015
PHONE: 602-697-3637 • FAX: 602-397-3537
WWW.WRIGHTENGCORP.COM

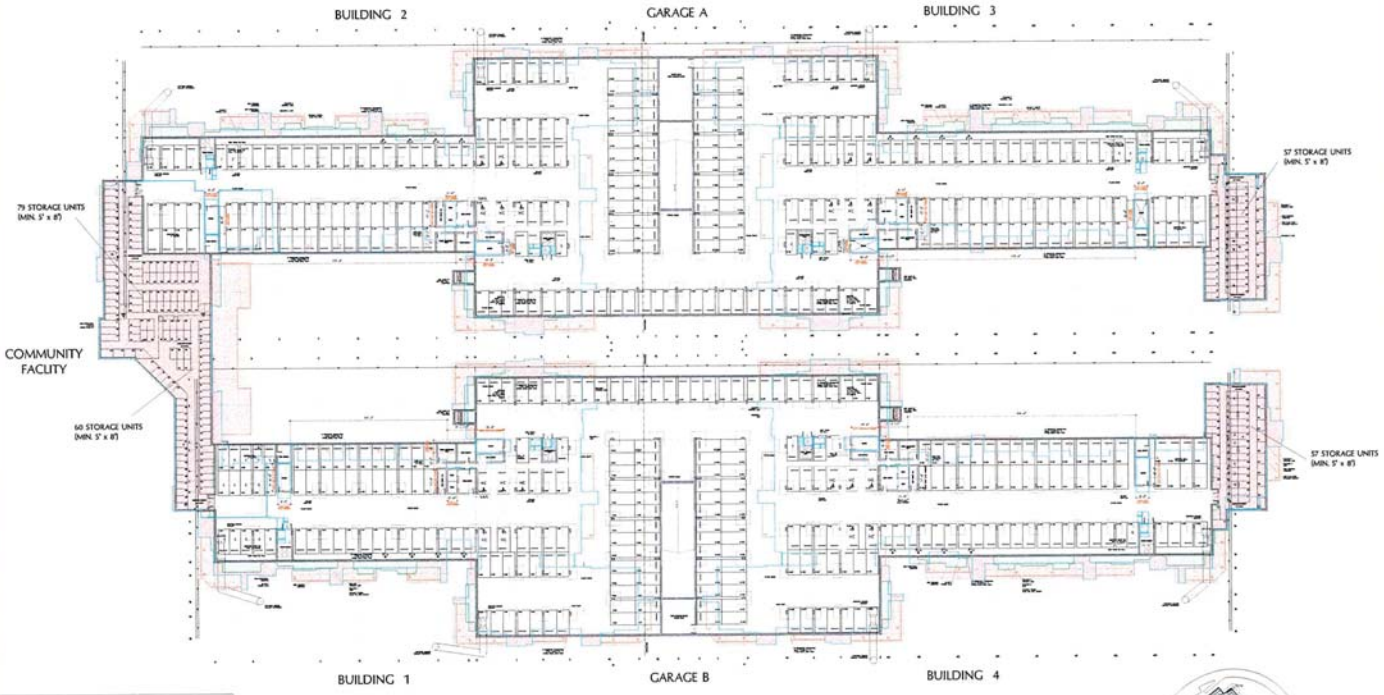
PROJECT: TITLE:
SCOTTSDALE, ARIZONA
SCOTTSDALE RD AND INDIAN BEND
LIGHTING SPECIFICATIONS

NO.	DATE	SUBMITTAL/REVISIONS DESCRIPTION
1	10/27/17	DRS SUBMITTAL
2	11/06/17	DRS SUBMITTAL
3	12/05/17	DRS SUBMITTAL
4	12/07/17	DRS SUBMITTAL

DRAWING NO.
SE2.2
OF 8

16-DR-2017
7/13/17

24 X 36



LEGEND:

- EXISTING PODIUM STRUCTURAL / VERANDA OVERPOUR
- NEW STRUCTURAL OVERPOUR
- NEW EXTENDED VERANDA OVERPOUR
- NEW BUILDING LINE AT FIRST FLOOR LEVEL
- NEW VERANDA LINES
- EXISTING WALLS/DOORS (TO DELETE)
- NEW 12" BLOCK WALL
- NEW 12" CONCRETE WALL

0 32' 96'

SCALE : 1/32" = 1'-0"

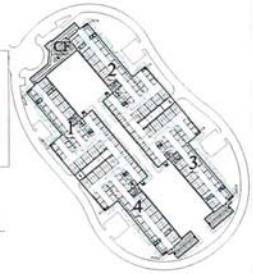
COMBINED GARAGE PLAN
GARAGE A, B, & COMM. FACILITY

SCALE 1/32" = 1'

GARAGE & STORAGE – AREA CALCS:

GARAGE/STORAGE NO.	AREA (SF)
GARAGE A	87765
GARAGE B	85497
STORAGE (A)	10361
STORAGE (B)	3848
STORAGE (C)	3644
TOTAL	188915

NOTE: INTERIOR AREA EXCLUDING MECHANICAL, STAIR AND ELEVATOR SHAFT



KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-26-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

Architecture Planning Interior Design
Historic Preservation Life Safety Engineering

10232 Bear Arthur Blvd. Suite 230, Irvine, Ca 92617
TEL: 949 851 3080 FAX: 949 425 0384

STAMP

REGISTERED ARCHITECT CERTIFICATE NO. 53611 JAMES E. BUCILLA JR. ARIZONA U.S.A.

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	063117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

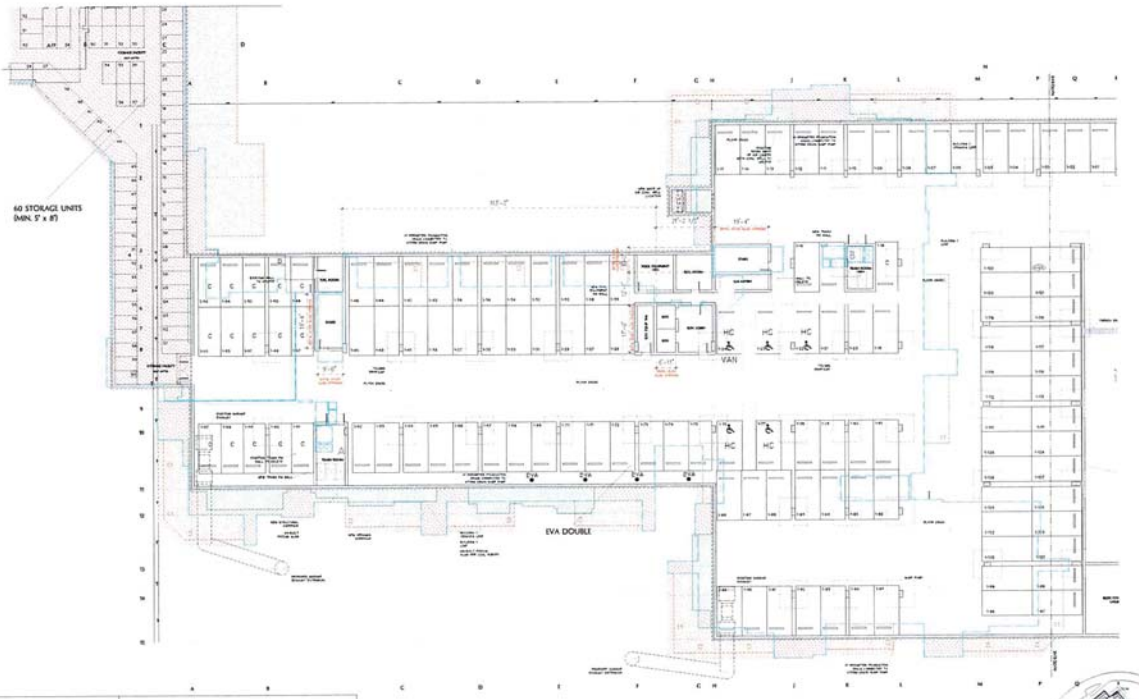
COMBINED GARAGE PLAN

Sheet No. :

A-0.1

16-DR-2017
7/13/17

24 X 36



LEGEND:

- EXISTING PODIUM STRUCTURAL / VERANDA OVERPOUR
- NEW STRUCTURAL OVERPOUR
- NEW EXTENDED VERANDA OVERPOUR
- NEW BUILDING LINE AT FIRST FLOOR LEVEL
- NEW VERANDA LINES
- EXISTING WALLS/DOORS (TO DELETE)
- NEW 12" BLOCK WALL
- NEW 12" CONCRETE WALL

PARKING:

1. STALLS	123 SPACES
2. HANDICAP	5 SPACES W/ VAN
3. EVA	8 SPACES
4. BIKES	1 PER STO. UNIT

0 16' 48'
SCALE: 1/16" = 1'-0"

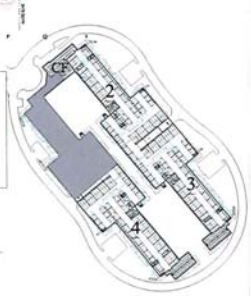
COMMUNITY FACILITY
BLDG 1 / PLAZA
GARAGE B
PARTIAL PLAN

SCALE 1/16" = 1'

GARAGE & STORAGE - AREA CALCS

GARAGE/STORAGE NO.	AREA (SF)
GARAGE A	87765
GARAGE B	83497
STORAGE (A)	10361
STORAGE (B)	3646
STORAGE (C)	3646
TOTAL	188915

NOTE: INTERIOR AREA EXCLUDING MECHANICAL, STAIR AND ELEVATOR SHAFT



KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

ARCHITECTURE PLANNING INTERIOR DESIGN
HISTORIC PRESERVATION LEED VALUE ENGINEERING

10232 West Arthur Blvd., Suite 270, Irvine, Ca 92612
TEL 949.851.4080 FAX 949.422.0884

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO. 53611
JAMES G. BUCILLA, III
ARIZONA U.S.A.

EXPIRES 06/30/2018

ARCHITECTURAL ONLY

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDAIL, ARIZONA

NO	DATE	DESCRIPTION
	063117	DRB SUBMITTAL

PERMIT NO	
BD SUBM. DATE	
PLOT DATE	

Project Number

BGA No. 15029

Sheet Title :

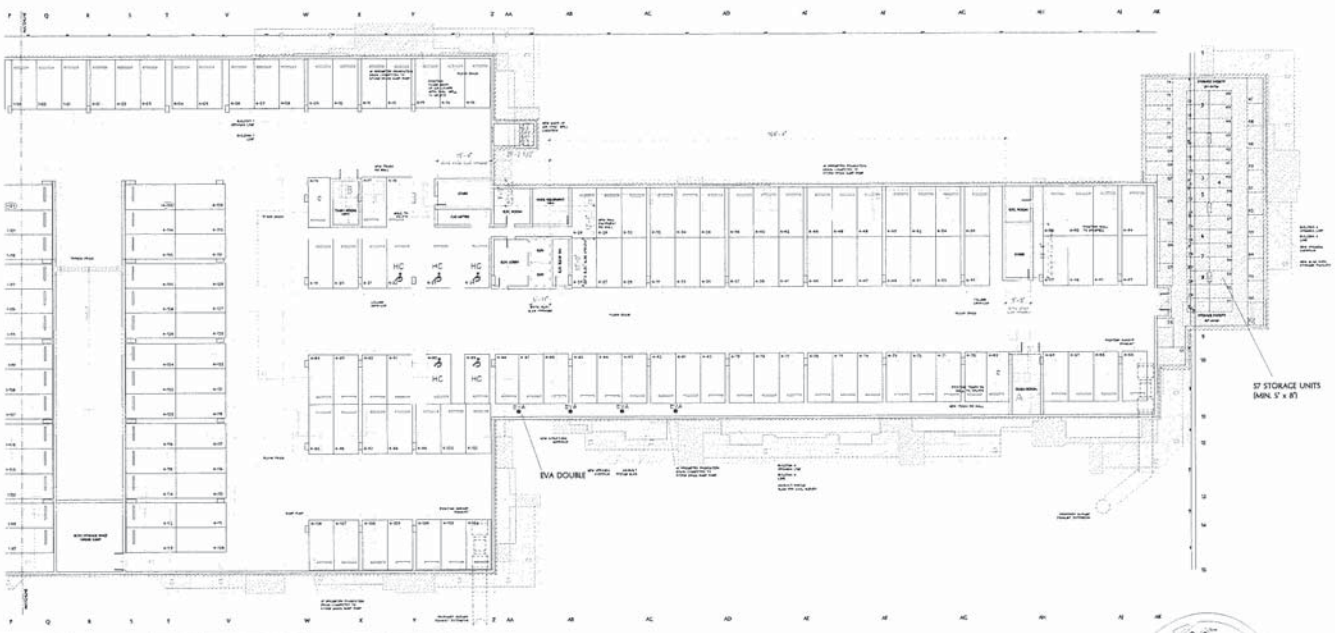
COMMUNITY FACILITY
BLDG 1, PLAZA
GARAGE B

Sheet No. :

A-0.1A

16-DR-2017
7/13/17

24 X 36



LEGEND:

- EXISTING PODIUM STRUCTURAL / VERANDA OVERPOUR
- NEW STRUCTURAL OVERPOUR
- NEW EXTENDED VERANDA OVERPOUR
- NEW BUILDING LINE AT FIRST FLOOR LEVEL
- NEW VERANDA LINES
- EXISTING WALLS/DOORS (TO DELETE)
- NEW 12" BLOCK WALL
- NEW 12" CONCRETE WALL

PARKING:

1. STALLS	123 SPACES
2. HANDICAP	5 SPACES W/ VAN
3. EVA	8 SPACES
4. BIKES	1 PER STO. UNIT

0 16' 48'
SCALE : 1/16" = 1'-0"

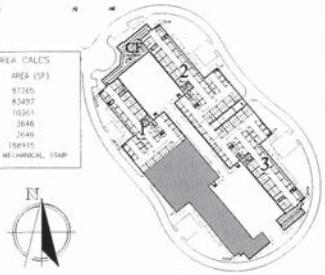
(PLAZA / BLDG 4)
GARAGE B
PARTIAL PLAN

SCALE 1/16" = 1'

GARAGE & STORAGE – AREA CALC'S

GARAGE/STORAGE NO.	AREA (SF)
GARAGE A	87765
GARAGE B	83497
STORAGE (A)	10361
STORAGE (B)	2646
STORAGE (C)	2646
TOTAL	186915

NOTE: INTERIOR AREA EXCLUDING MECHANICAL, STAIR AND ELEVATOR SHAFT



KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

Architecture Planning Interior Design
Historic Preservation Land Development

STAMP

REGISTERED ARCHITECT
CERTIFICATE HOLDER
62851
BRIAN S. BUCILLA
ARIZONA U.S.A.

EXPIRES 06/30/2018

Project:

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	063-17	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

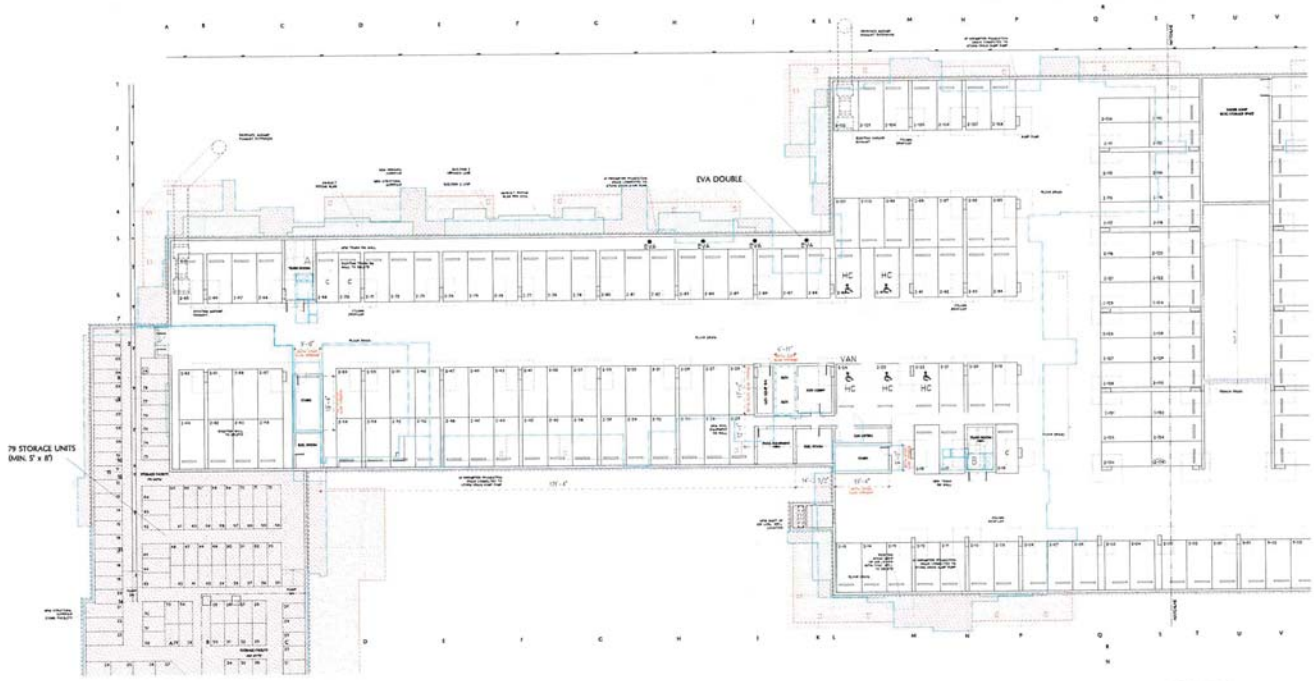
PLAZA, BLDG 4
GARAGE B

Sheet No. :

A-0.1B

16-DR-2017
7/13/17

24 X 36



LEGEND:

- EXISTING PODIUM STRUCTURAL / VERANDA OVERPOUR
- NEW STRUCTURAL OVERPOUR
- NEW EXTENDED VERANDA OVERPOUR
- NEW BUILDING LINE AT FIRST FLOOR LEVEL
- NEW VERANDA LINES
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- NEW 12" BLOCK WALL
- NEW 12" CONCRETE WALL

PARKING:

1. STALLS	123 SPACES
2. HANDICAP	5 SPACES W/ VAN
3. EVA	8 SPACES
4. BIKES	1 PER STO. UNIT

0 16' 48'

SCALE : 1/16" = 1'-0"

(COMMUNITY FACILITY BLDG 2 / PLAZA) GARAGE A PARTIAL PLAN

SCALE 1/16" = 1'

GARAGE & STORAGE – AREA CALCS:

GARAGE/STORAGE NO.	AREA (SF)
GARAGE A	57765
GARAGE B	63497
STORAGE (A)	10361
STORAGE (B)	3646
STORAGE (C)	3646
TOTAL	138915

NOTE: INTERIOR AREA EXCLUDING MECHANICAL, STAIR AND ELEVATOR SHAFT

N

KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

Architecture Planning Interior Design
Historic Preservation Land Value Engineering

16762 West Bernardo Drive, Suite 270, Rancho Cucamonga, CA 92127
TEL 949 857 9080 FAX 949.823.0994

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO.
53611
BRIAN S. BUCILLA
ARIZONA, U.S.A.

EXPIRES 06/30/2018

ATTEST TO ARCHITECTURAL ONLY

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	052117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

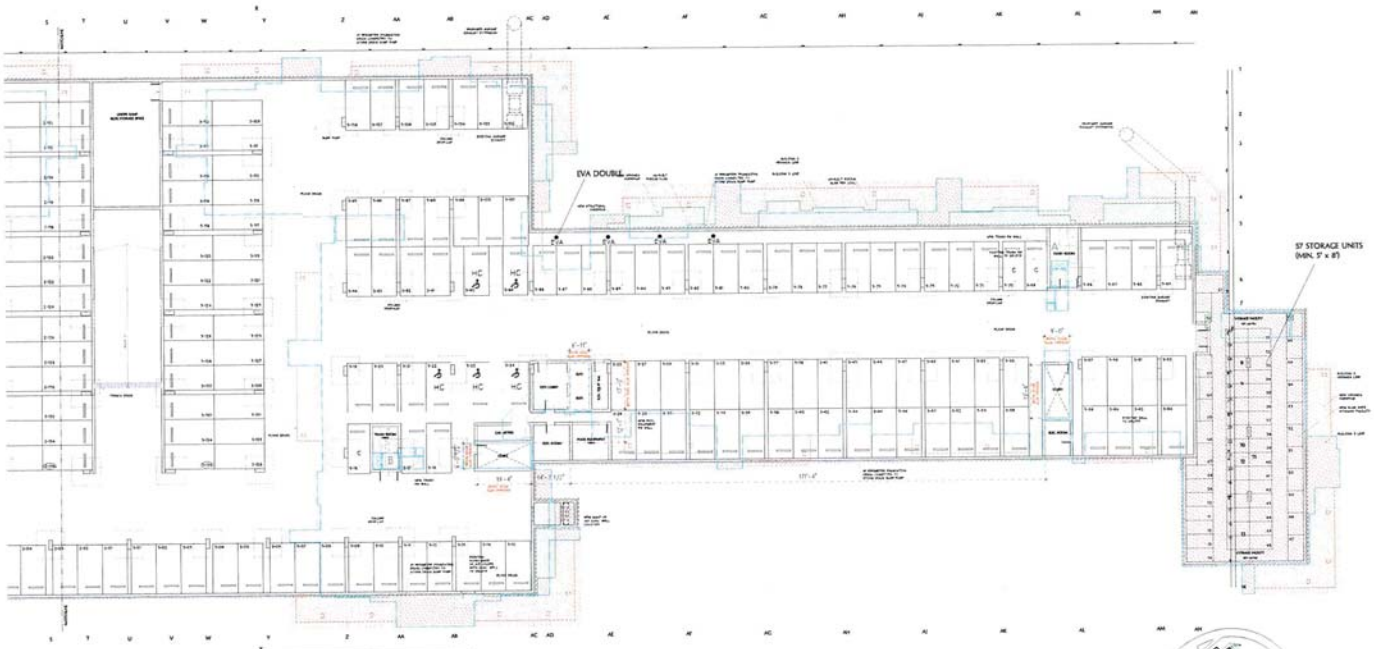
COMMUNITY FACILITY
BLDG 2, PLAZA
GARAGE A

Sheet No. :

A-0.1C

16-DR-2017
7/13/17

24 X 36



LEGEND:

- EXISTING PODIUM STRUCTURAL / VERANDA OVERPOUR
- NEW STRUCTURAL OVERPOUR
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SCALE : 1/16" = 1'-0"

GARAGE & STORAGE - AREA CALCS:

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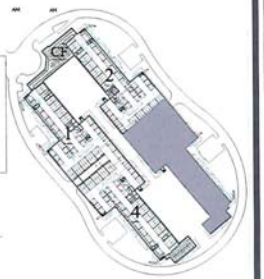
GARAGE B	83497
STORAGE (A)	10361
STORAGE (B)	3646
STORAGE (C)	2646
TOTAL	188415

NOTE: INTERIOR AREA EXCLUDING MECHANICAL, STAIR AND ELEVATOR SHAFT

(PLAZA, BLDG 3)
GARAGE A
PARTIAL PLAN

SCALE 1/16" = 1'



KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

Architecture Planning Interior Design Historic Preservation Land Value Engineering

16782 Red Hill Ave. Suite 270, Irvine Ca 92612
TEL 949 851 3880 FAX 949 623-0894

STAMP

REGISTERED ARCHITECT
53511
BRUCE A. BUCILLA
ARIZONA, U.S.A.

EXPIRES 06/30/2018

ATTEST TO ARCHITECTURAL ONLY

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

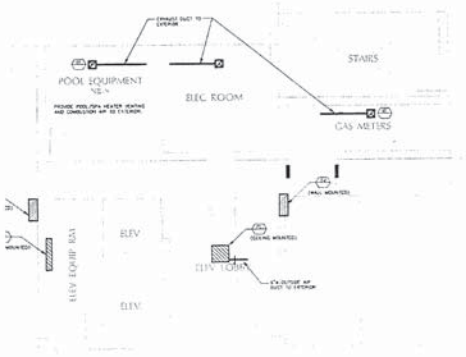
PLAZA, BLDG 3
GARAGE A

Sheet No. :

A-0.1D

16-DR-2017
7/13/17

KEYED NOTES



MECHANICAL PLAN
GARAGE LEVEL

KEY PLAN

MAY 25, 2017 SCHEMATIC DESIGN

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP:
SCHEMATIC ONLY NOT FOR CONSTRUCTION

Project:
ARTESIA 1
SCOTTSDALE, ARIZONA

Owner:
MERITAGE HOMES
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	2017-11	SCHEMATIC DESIGN

PERMIT NO:
BID SUBM. DATE:
PLOT DATE:

Project Number:
BGA No. 15029

Sheet Title:
MECHANICAL PLAN
GARAGE LEVEL

Sheet No:
M-3.04

16-DR-2017
7/13/17

KEYED NOTES

SEE SHEET M-3.4 FOR WORK IN THIS AREA.

GARAGE B MECHANICAL PLAN
BUILDING 1

KEY PLAN

MAY 25, 2017 SCHEMATIC DESIGN

ARCHITECT
BUCILLA GROUP ARCHITECTURE

STAMP
SCHEMATIC ONLY NOT FOR CONSTRUCTION

Project
ARTESIA 1
SCOTTSDALE, ARIZONA

Owner
MERITAGE HOMES
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	2017-7	SCHEMATIC DESIGN

PERMIT NO
NO-PLAN DATE
PLOT DATE

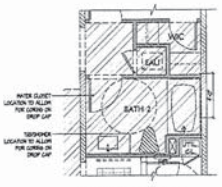
Project Number
BGA No. 15029

Sheet Title
BUILDING 1
GARAGE
MECHANICAL PLAN

Sheet No
M-1.01

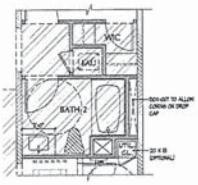
16-DR-2017
7/13/17

24 X 36



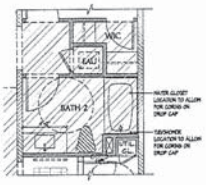
PLAN *A0
(BATH 2 ADDENDA Z)
- BLDG2 ITEM #4

NOTE:
FOR UNITS MARKED AS "A0 DUE TO CORING CONSTRAINTS ON DROP CAPS



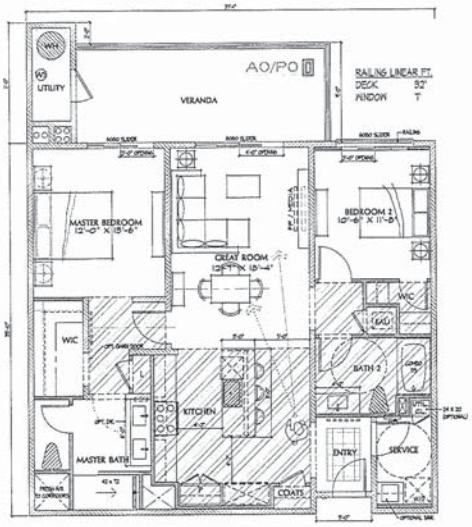
PLAN *A0
(BATH 2 ADDENDA X)
- BLDG1 ITEM #3

NOTE:
FOR UNITS MARKED AS "A0 DUE TO CORING CONSTRAINTS ON DROP CAPS



PLAN *A0
(BATH 2 ADDENDA Y)
- BLDG1 ITEM #4

NOTE:
FOR UNITS MARKED AS "A0 DUE TO CORING CONSTRAINTS ON DROP CAPS



PLAN A0/P0

0 4' 12'
SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA
DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE
INCORPORATED

STAMP
REGISTERED ARCHITECT
CERTIFICATE HOLDER
EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	06.29.17	DRB SUBMITTAL

PERMIT NO.
BD SUBM DATE
PLOT DATE

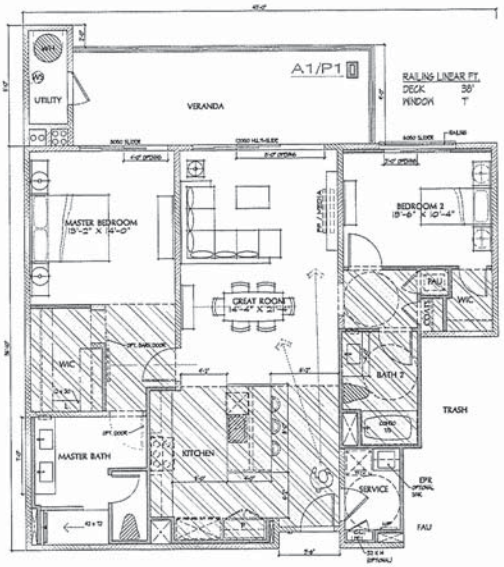
Project Number :
BGA No. 15029

Sheet Title :
UNIT PLANS
- PLAN A0 / P0

Sheet No. :
A-5.0

16-DR-2017
7/13/17

24 X 36



PLAN A1/P1

A1/P1		
LIVING	: 1425	SF
VERANDA	: 246	SF
UTILITY	: 50	SF

0 4' 12'

SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	062117	DRB SUBMITTAL

PERMIT NO

BID SUBM DATE

PLOT DATE

Project Number :

BGA No. 15029

Sheet Title :

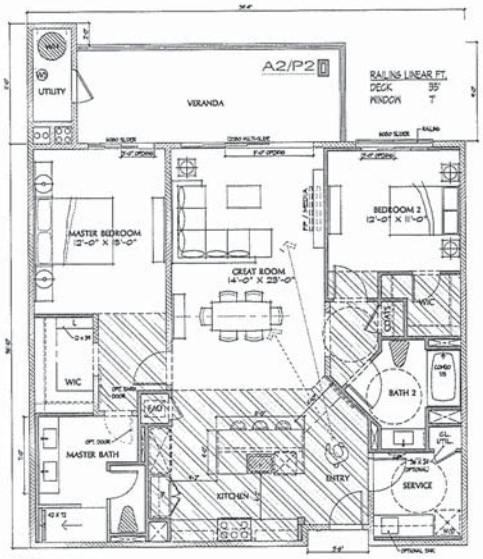
UNIT PLANS
- PLAN A1 / P1

Sheet No :

A-5.1

16-DR-2017
7/13/17

24 X 36



PLAN A2/P2

SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	06/29/17	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

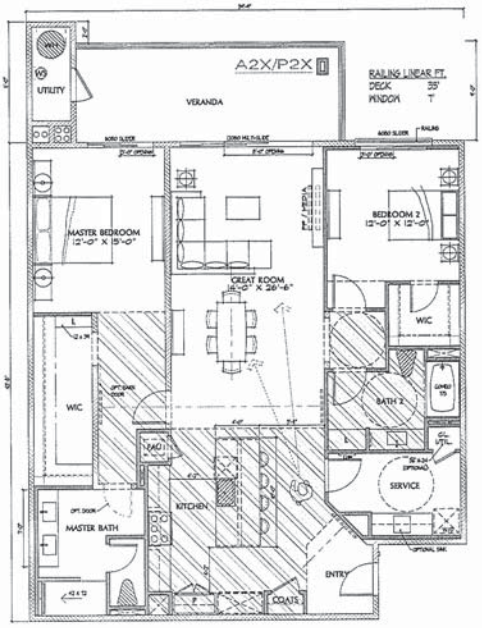
Project Number :
BGA No. 15029

Sheet Title :
UNIT PLANS
- PLAN A2 / P2

Sheet No. :
A-5.2

16-DR-2017
7/13/17

24 X 36



PLAN A2X/P2X

0 4' 12'

SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	2017	DRB SUBMITTAL

PERMIT NO

BID SUBM. DATE

PLOT DATE

Project Number :

BGA No. 15029

Sheet Title :

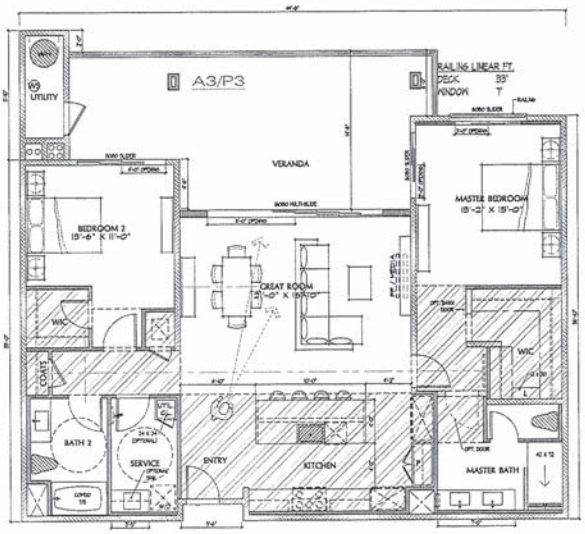
UNIT PLANS
- PLAN A2 / P2X

Sheet No. :

A-5.2.1

16-DR-2017
7/13/17

24 X 36



PLAN A3/P3

A3/P3	
LIVING	: 1590 SF
VERANDA	: 420 SF
UTILITY	: 50 SF

0 4' 12'

SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

REGISTERED ARCHITECT
CERTIFICATE NO.
BRIAN G. BUCILLA
ARIZONA U.S.A.
EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	05/31/17	DRB SUBMITTAL

PERMIT NO.

NO SUBM. DATE

PLOT DATE

Project Number :

BGA No. 15029

Sheet Title :

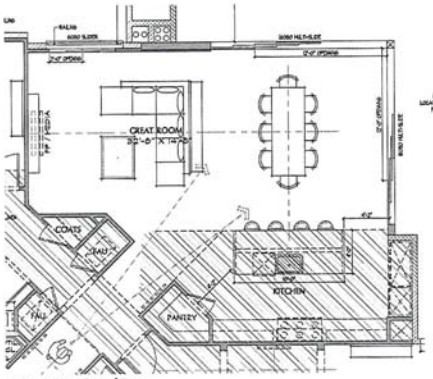
UNIT PLANS
- PLAN A3 / P3

Sheet No. :

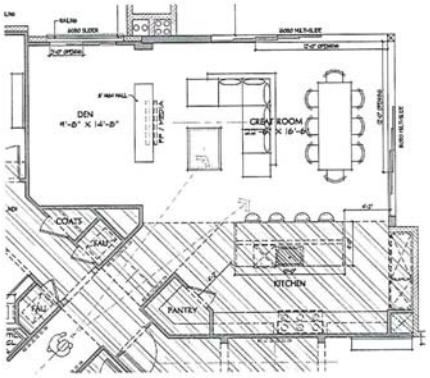
A-5.3

16-DR-2017
7/13/17

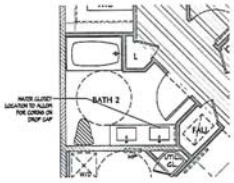
24 X 36



PLAN B4/P4
(GREAT ROOM - OPTION 2)

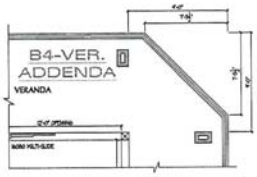


PLAN B4/P4
(DEN - OPTION 1)



PLAN *B4
(BATH 2 ADDENDA X)
- BLDG2 ITEM #1
- BLDG3 ITEM #2
- BLDG4 ITEM #4

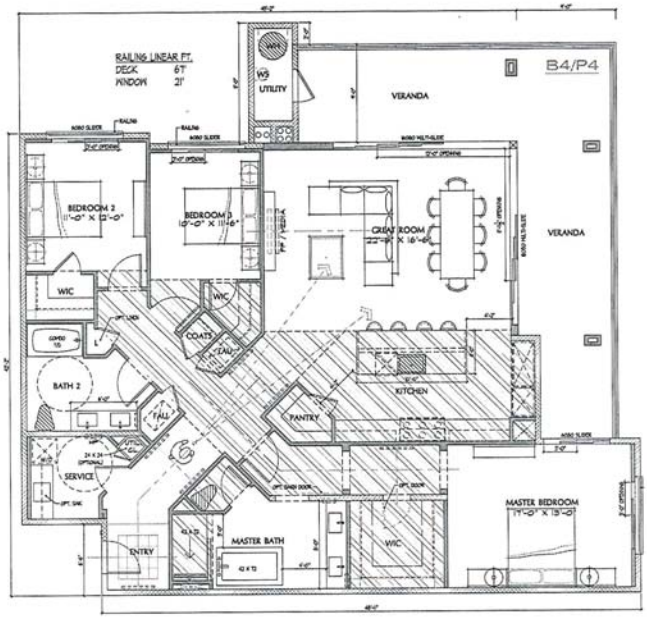
NOTE:
FOR UNITS MARKED AS *B4 DUE TO CODING CONSTRAINTS ON DROP CAPS



PLAN *B4/*P4
(VERANDA ADDENDA)

NOTE:
APPLIES TO BLDG 1, 3, & 4 ONLY FOR UNITS MARKED AS *B4 DUE TO PROPERTY LINE CONSTRAINTS

B4-VER. ADD.		
VERANDA	: 460	SF



PLAN B4/P4

B4/P4		
LIVING	: 2000	SF
VERANDA	: 460	SF
UTILITY	: 50	SF

0 4' 12'
SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP
EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	063117	DRB SUBMITTAL

PERMIT NO
BD SUBM DATE
PLOT DATE

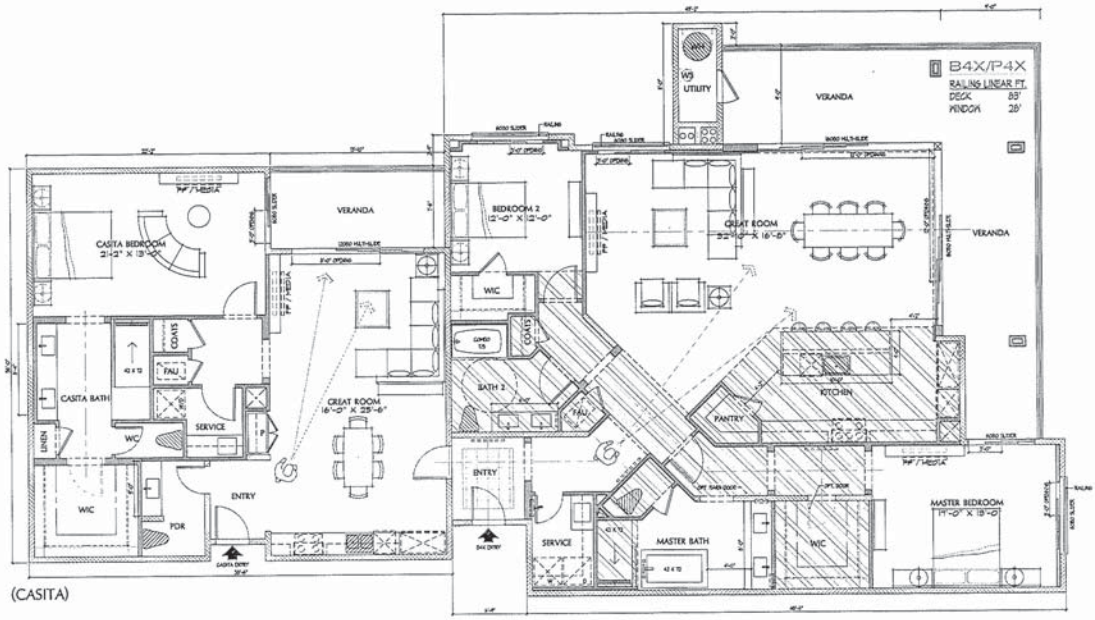
Project Number :
BGA No. 15029

Sheet Title :
UNIT PLANS
- PLAN B4 / P4

Sheet No. :
A-5.4

16-DR-2017
7/13/17

24 X 36



PLAN B4X/P4X

B4X/P4X		
LIVING (TOTAL)	: 3240	SF
CASITA	: 1250	SF
VERANDA	: 600	SF
UTILITY	: 50	SF

0 4' 12'

SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	053117	DRB SUBMITTAL

PERMIT NO:
BID SUBM DATE:
PLOT DATE:

Project Number :

BGA No. 15029

Sheet Title :

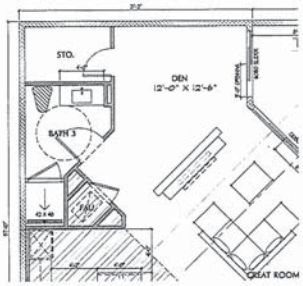
UNIT PLANS
- PLAN B4X

Sheet No. :

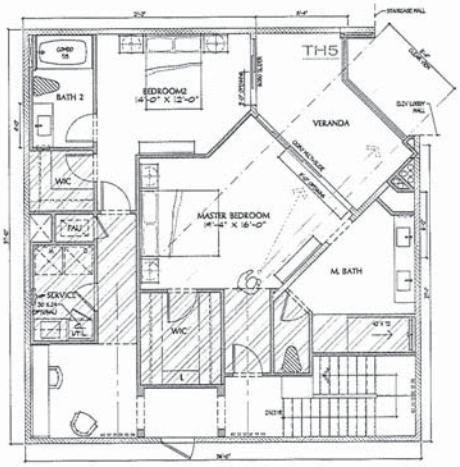
A-5.5

16-DR-2017
7/13/17

24 X 36

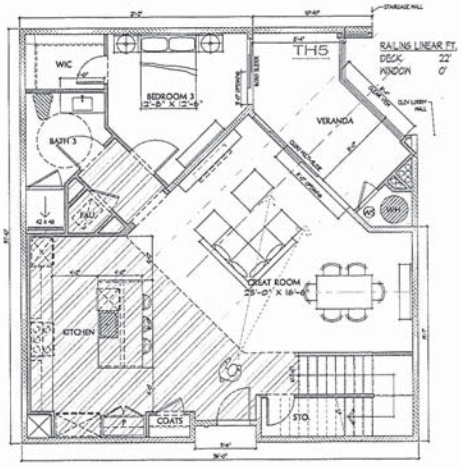


PLAN TH5
(DEN OPTION)



UPPER LEVEL

LIVING: 1170 SF
VERANDA: 140 SF



LOWER LEVEL

LIVING : 1140 SF
VERANDA : 140 SF

PLAN TH5

TH5 (TOTAL)		
LIVING	: 2310	SF
VERANDA	: 280	SF
UTILITY	: 23	SF

0 4' 12'

SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	06/21/17	DRB SUBMITTAL

PERMIT NO.
BD ISSUE DATE
PLOT DATE

Project Number :

BGA No. 15029

Sheet Title :

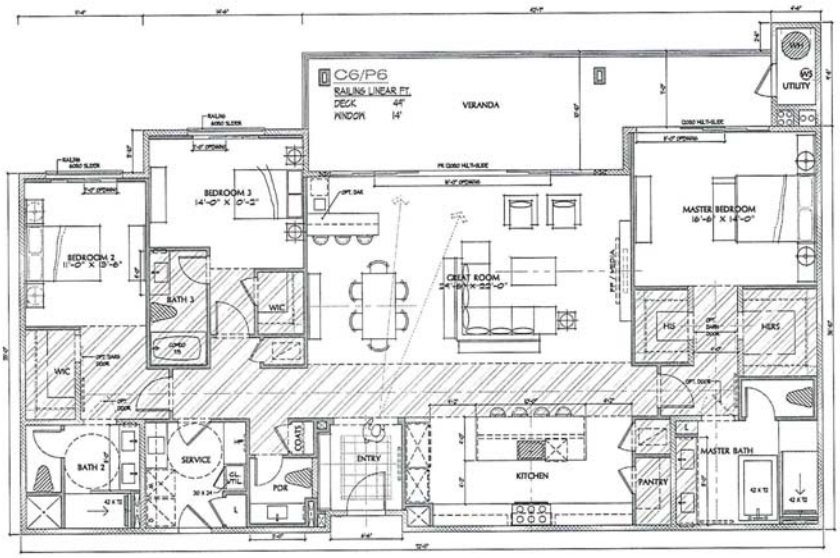
UNIT PLANS
- PLAN TH5

Sheet No. :

A-5.6

16-DR-2017
7/13/17

24 X 36



PLAN C6 / P6

C6/P6		
LIVING	: 2520	SF
VERANDA	: 410	SF
UTILITY	: 42	SF

0 4' 12'

SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA
DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	062317	DRB SUBMITTAL

PERMIT NO
BD SUBM. DATE
PLOT DATE

Project Number :

BGA No. 15029

Sheet Title :

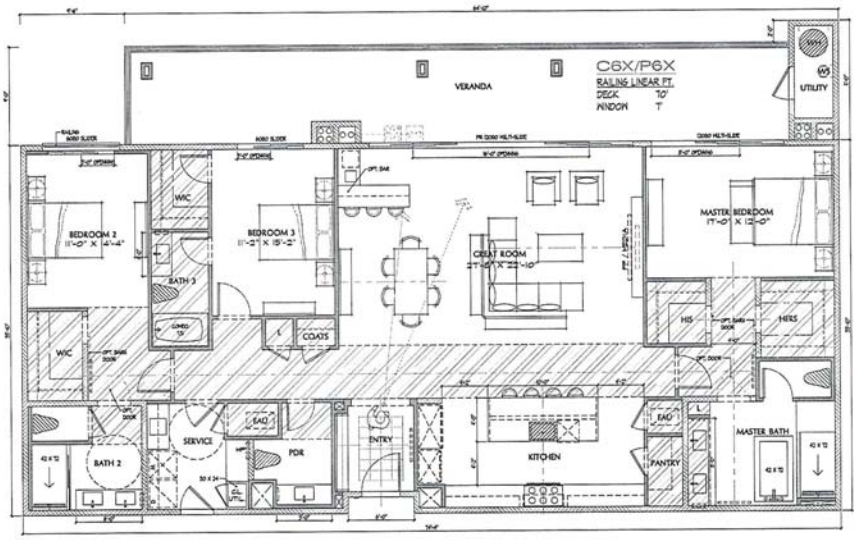
UNIT PLANS
- PLAN C6 / P6

Sheet No. :

A-5.7

16-DR-2017
7/13/17

24 X 36



PLAN C6X / P6X

C6X/P6X		
LIVING	: 2500	SF
VERANDA	: 540	SF
UTILITY	: 50	SF

0 4' 12'

SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	062917	DRB SUBMITTAL

PERMIT NO.
BID SUBM. DATE:
PLOT DATE

Project Number :

BGA No. 15029

Sheet Title :

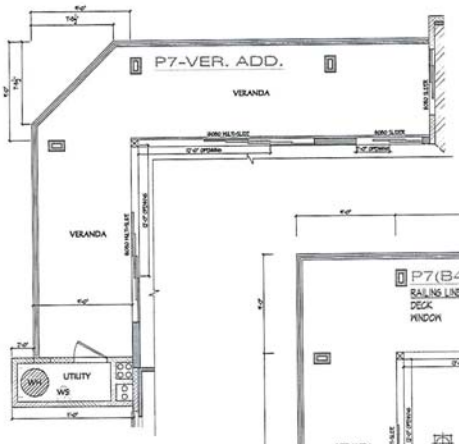
UNIT PLANS
- PLAN C6X / P6X

Sheet No. :

A-5.8

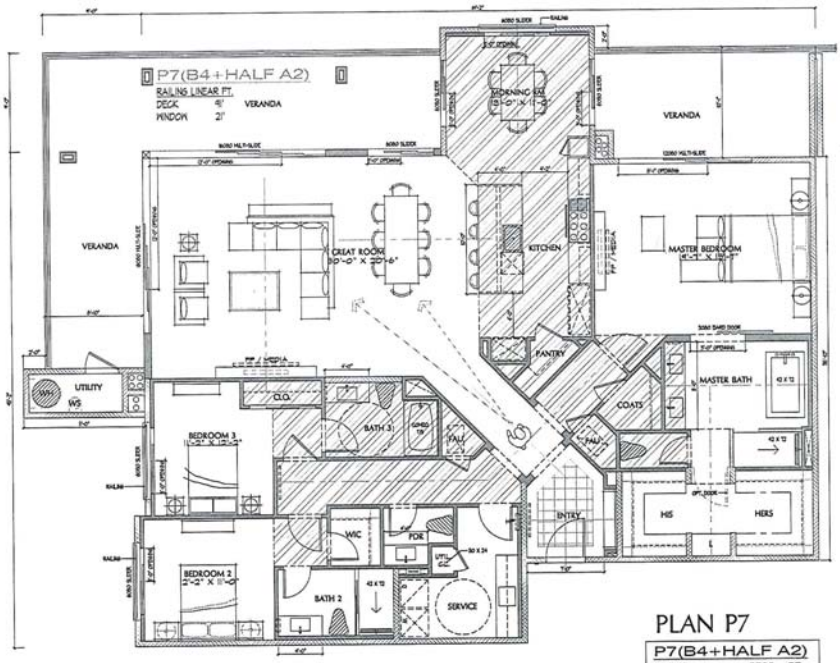
16-DR-2017
7/13/17

24 X 36



PLAN P7*
VERANDA ADDENDA

P7 - VER. ADDENDA		
VERANDA	: 615	SF



PLAN P7

P7(B4+HALF A2)		
LIVING	: 2720	SF
VERANDA	: 690	SF
UTILITY	: 50	SF

0 4' 12'
SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA
DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP
EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner :
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	063017	DRB SUBMITTAL

PERMIT NO:
BD SUBM DATE:
PLOT DATE:

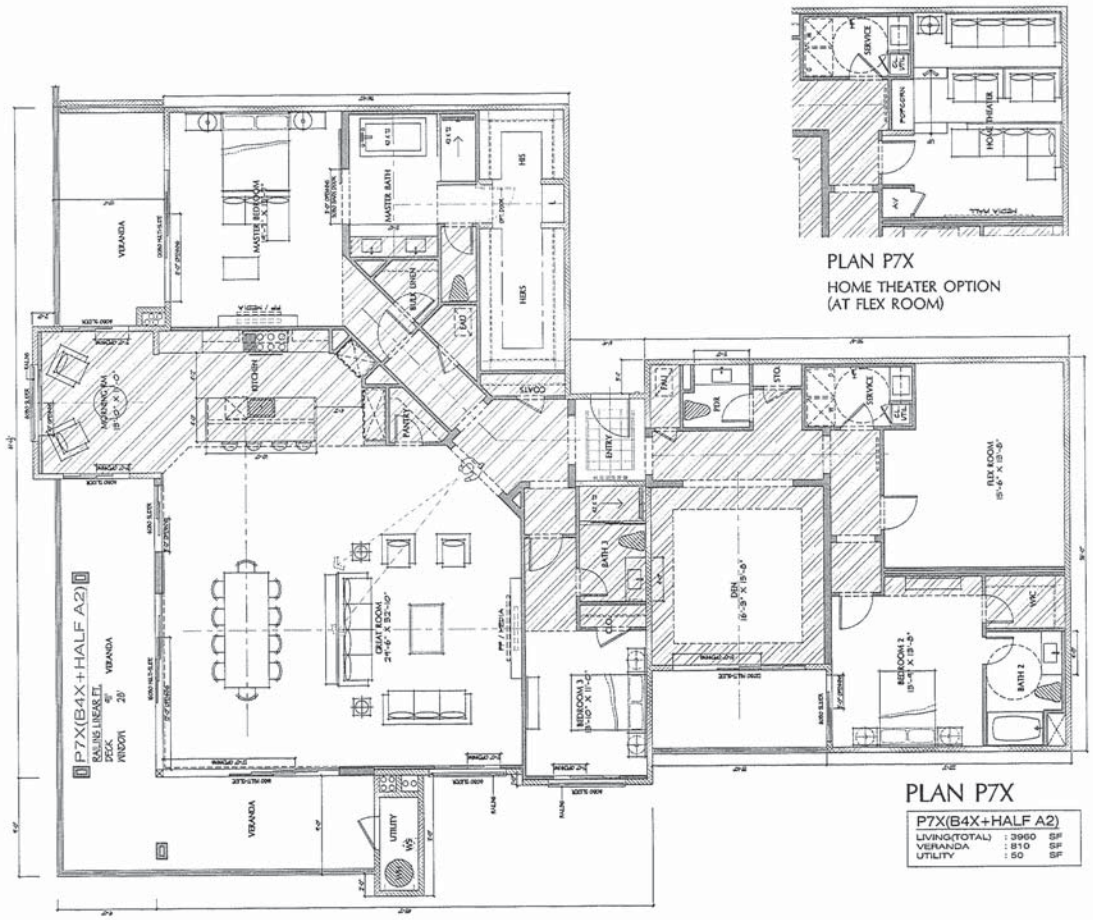
Project Number :
BGA No. 15029

Sheet Title :
UNIT PLANS
- PLAN 7

Sheet No. :
A-5.9

16-DR-2017
7/13/17

24 X 36



PLAN P7X
HOME THEATER OPTION
(AT FLEX ROOM)

PLAN P7X

P7X(B4X+HALF A2)		
LIVING(TOTAL)	: 3960	SF
VERANDA	: 810	SF
UTILITY	: 50	SF

0 4' 12'
SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA
DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE
INCORPORATED
ARCHITECTURE PLANNING INTERIOR DESIGN
DESIGN RESTORATION LEED NEW CONSTRUCTION
10740 Nova Arthur Blvd., Suite 270, Irvine, CA 92617
TEL: 949 861 8880 FAX: 949 453 9984

STAMP
REGISTERED ARCHITECT
CERTIFICATE HOLDER
03811
JOHN G. BUCILLA
ARIZONA U.S.A.
EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	06/29/17	DRB SUBMITTAL

PERMIT NO:
BD SUBM. DATE:
PLOT DATE:

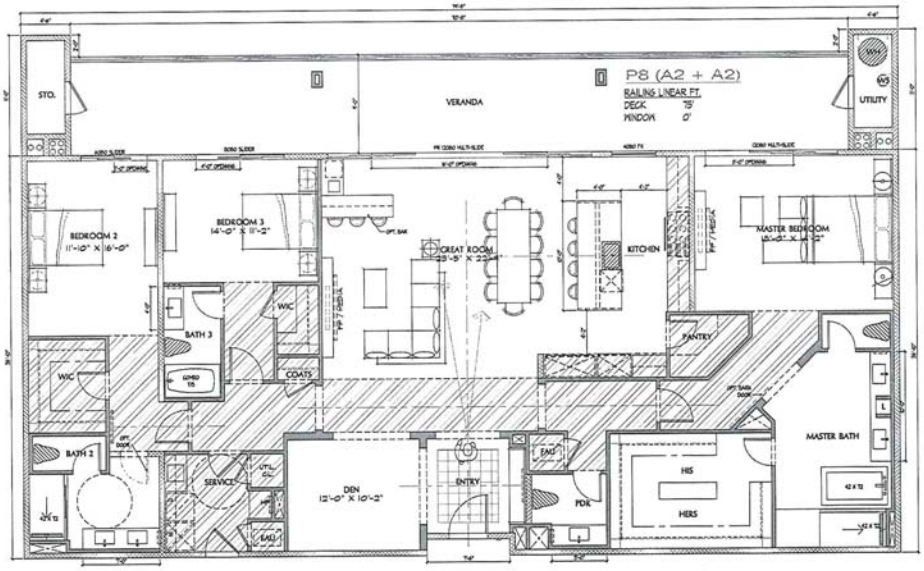
Project Number :
BGA No. 15029

Sheet Title :
UNIT PLANS
- PLAN 7X

Sheet No. :
A-5.10

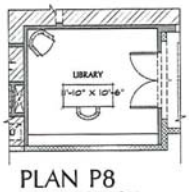
16-DR-2017
7/13/17

24 X 36



PLAN P8

C8/P8(A2+A2)		
AREA	: 2920	SF
VERANDA	: 630	SF
UTILITY	: 100	SF



PLAN P8
LIBRARY OPTION
(AT DEN)

PLAN P8
WC2 OPTION
(AT MBATH WIC)

0 4' 12'
SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA
DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP
EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	062317	DRB SUBMITTAL

PERMIT NO:
BD SUBM. DATE:
PLOT DATE:

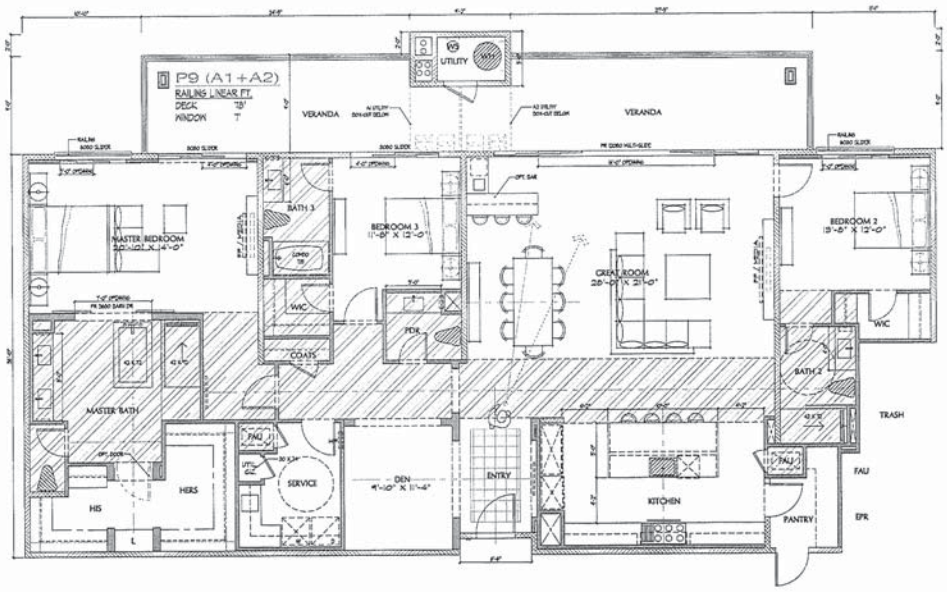
Project Number :
BGA No. 15029

Sheet Title :
UNIT PLANS
- PLAN 8

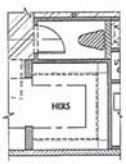
Sheet No. :
A-5.11

16-DR-2017
7/13/17

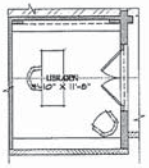
24 X 36



PLAN P9



PLAN P9
WC2 OPTION
(AT MBATH)



PLAN P9
LIBRARY OPTION
(AT DEN)

0 4' 12'
SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA
DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE RD/40
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	06/21/17	DRB SUBMITTAL

PERMIT NO:
BD SUBM DATE:
PLOT DATE:

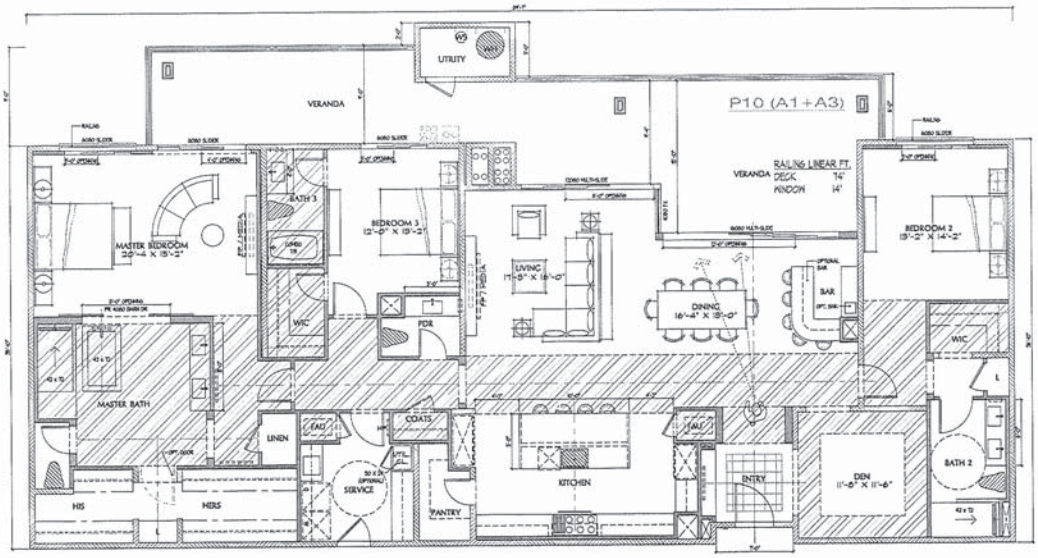
Project Number :
BGA No. 15029

Sheet Title :
UNIT PLANS
- PLAN 9

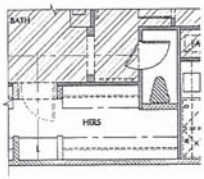
Sheet No. :
A-5.12

16-DR-2017
7/13/17

24 X 36



PLAN P10



PLAN P10
WC2 OPTION
AT MBATH WIC)

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA
DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP
EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

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PLOT DATE

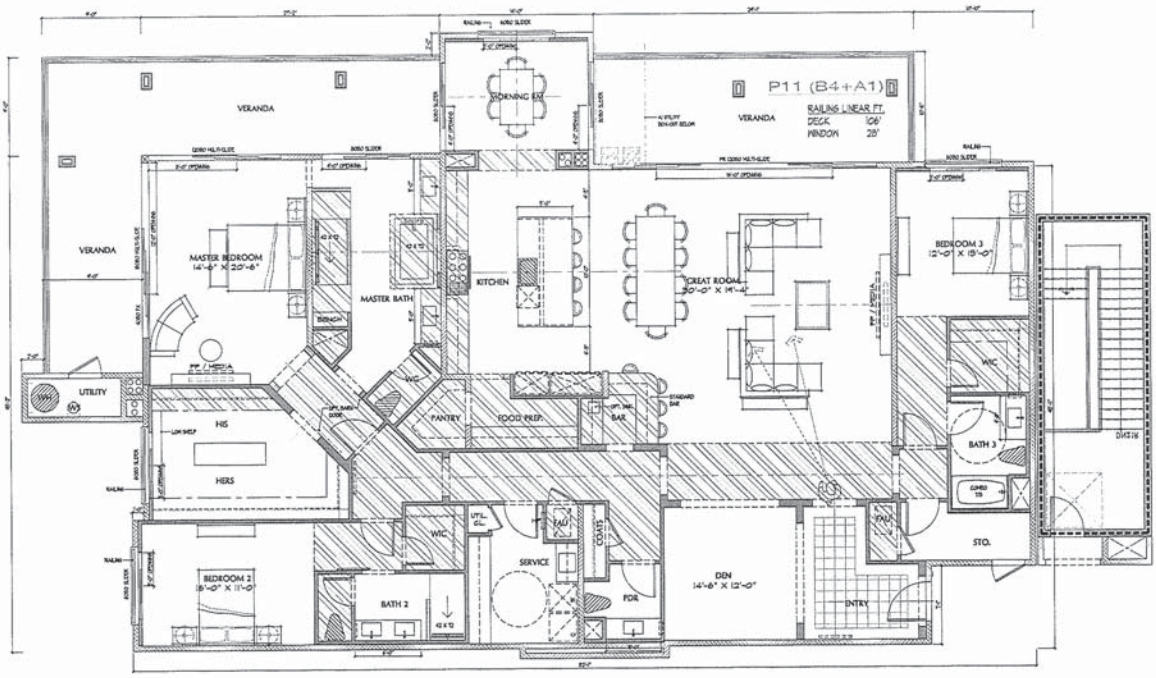
Project Number :
BGA No. 15029

Sheet Title :
UNIT PLANS
- PLAN 10

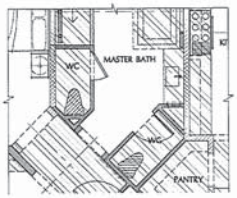
Sheet No. :
A-5.13

16-DR-2017
7/13/17

24 X 36



PLAN P11



PLAN P11
WC2 OPTION
(AT MBATH)

0 4' 12'
SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:
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ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

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SCOTTSDALE, ARIZONA

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PLOT DATE

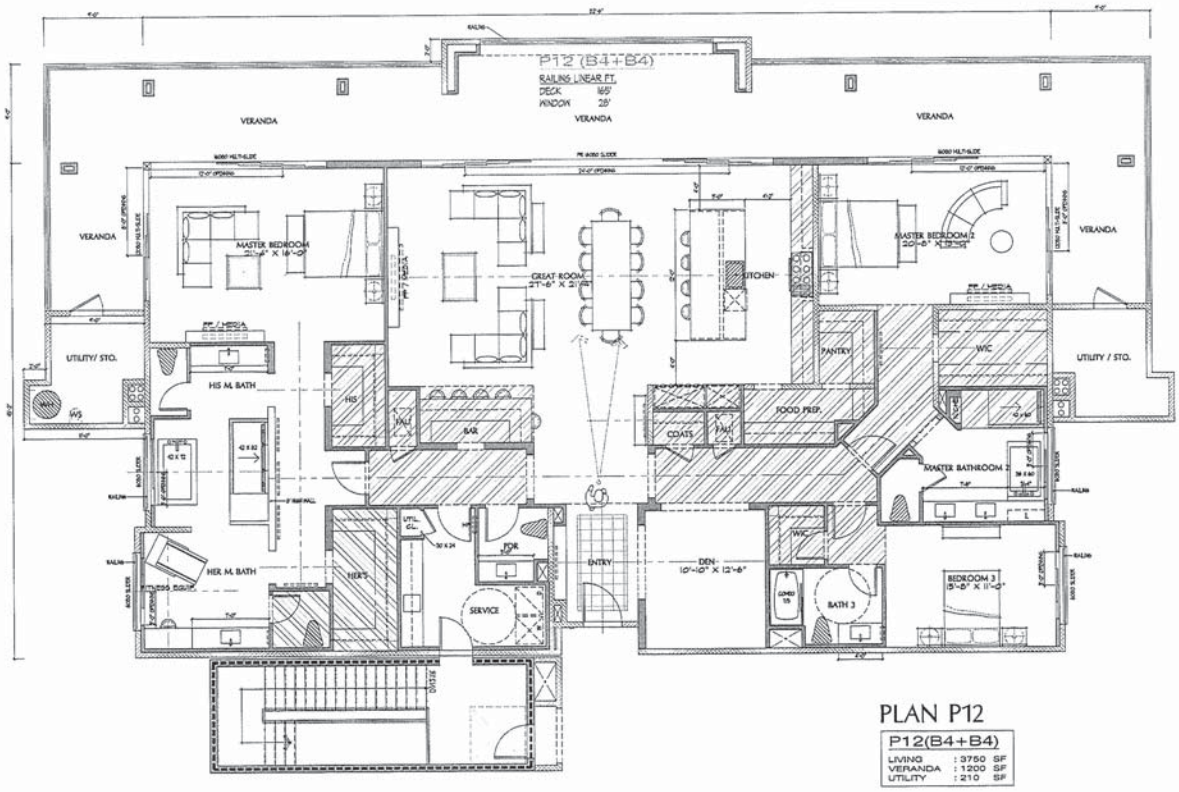
Project Number :
BGA No. 15029

Sheet Title :
UNIT PLANS
- PLAN 11

Sheet No. :
A-5.14

16-DR-2017
7/13/17

24 X 36



PLAN P12

P12(B4+B4)	
LIVING	: 3750 SF
VERANDA	: 1200 SF
UTILITY	: 210 SF

SEE ADDENDA AND OPTIONS AT SHEET A-5.15A

0 4' 12'

SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

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Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

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	063017	DRB SUBMITTAL

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PLOT DATE

Project Number :

BGA No. 15029

Sheet Title :

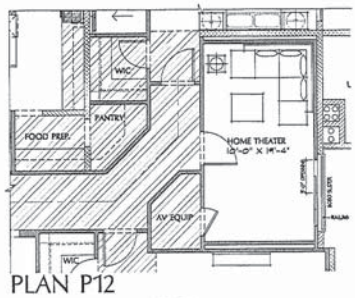
UNIT PLANS
- PLAN 12

Sheet No. :

A-5.15

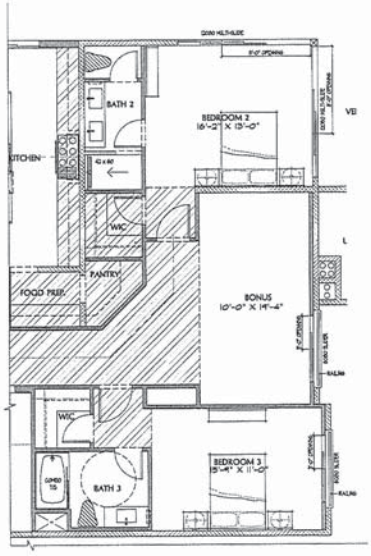
16-DR-2017
7/13/17

24 X 36



PLAN P12

HOME THEATER ADDENDA
AT OPTION BONUS



PLAN P12

3 BEDROOMS + BONUS ROOM OPTION
AT MASTER MASTER BEDROOM

0 4' 12'

SCALE : 1/4" = 1'-0"

UNIT PLANS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

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Project Number :

BGA No. 15029

Sheet Title :

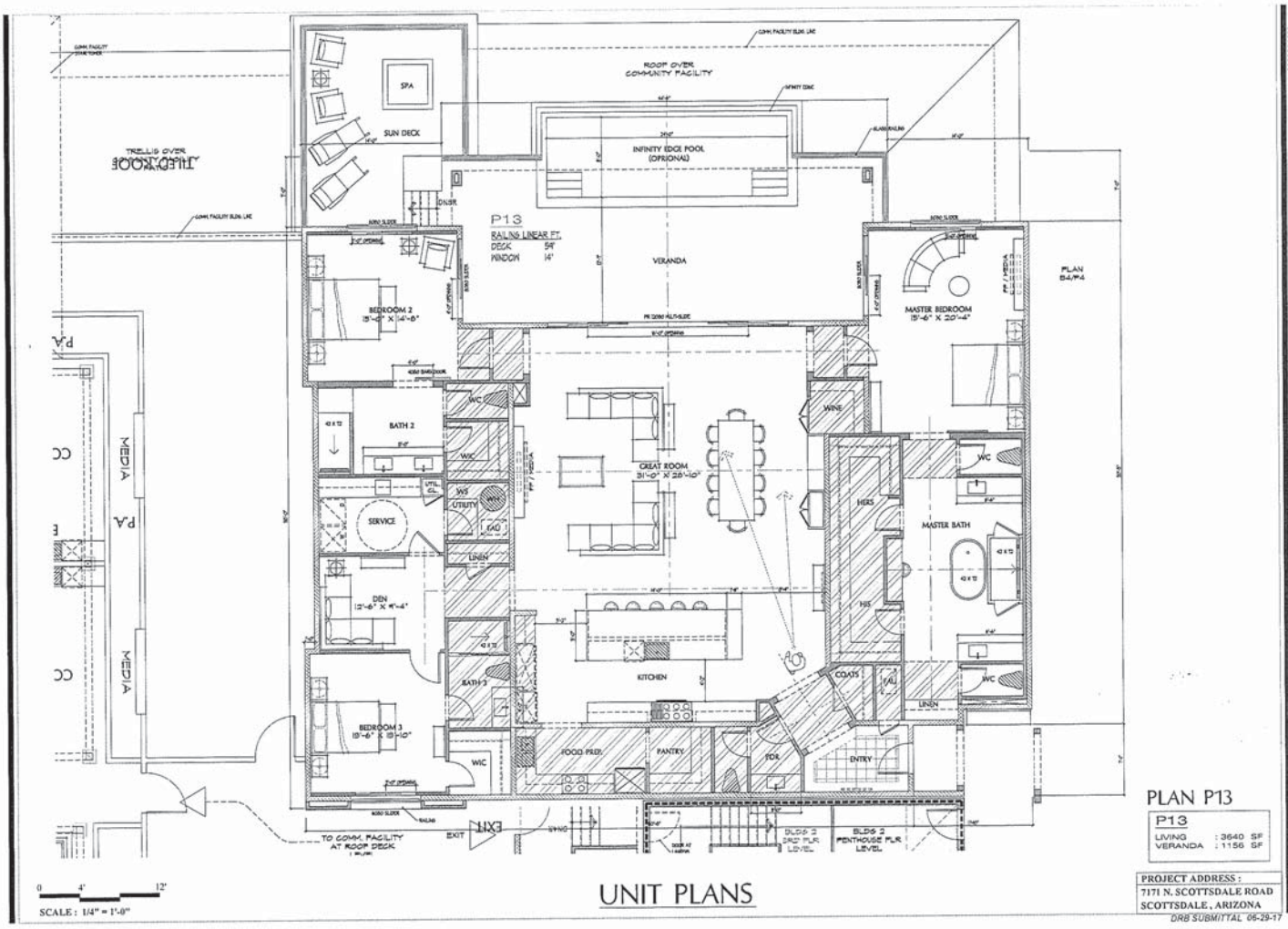
UNIT PLANS
- PLAN 12

Sheet No. :

A-5.15A

16-DR-2017
7/13/17

24 X 36



0 4' 12'
SCALE : 1/4" = 1'-0"

UNIT PLANS

PLAN P13

P13	
LIVING	: 3640 SF
VERANDA	: 1156 SF

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

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EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO	DATE	DESCRIPTION
	063017	DRB SUBMITTAL

PERMIT NO
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PLOT DATE

Project Number :
BGA No. 15029

Sheet Title :
UNIT PLANS - PLAN 13

Sheet No. :
A-5.16

16-DR-2017
7/13/17

24 X 36

Program Summary
Preliminary

6/23/2017 Bldgs 1 thru 4

BUILDING 1 THRU 4

Artesia PA1	Parking Summary Sub-T Owner	Ground Guest	Total
Com Facility	0	10	10
Bldg 1	136	4	121
Bldg 2	123	14	141
Bldg 3	136	19	142
Bldg 4	136	14	145
Provided	531	61	592
Required	242(1.7) = 412		

Unit Type Summary	Unit Type	No.	%
Flat	2br	119	49
Flat	2br / 2ba + den/2br	58	24
TH	2br / 2ba	9	3
Flat	2br / 2.5 ba	16	7
Flat	2br / 2.5ba + den / library	41	17
		242	100

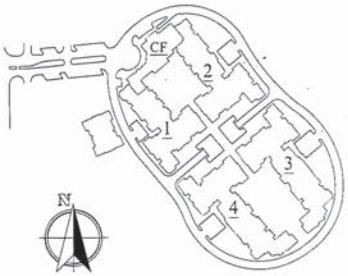
Conversion SF		
Bldg 1	13,648	4 levels
Bldg 2	13,840	4 levels
Bldg 3	16,310	4 levels
Bldg 4	16,310	4 levels
Common	60,108	
Living	488,830	
Gross SF	545,234	

Unit	Living SF	Veranda SF	Utility SF	Bldg 1 1st Level	Bldg 1 2nd Level	Bldg 1 3rd Level	Bldg 1 Penthouse Level	Bldg 2 1st Level	Bldg 2 2nd Level	Bldg 2 3rd Level	Bldg 2 Penthouse Level	Bldg 3 1st Level	Bldg 3 2nd Level	Bldg 3 3rd Level	Bldg 3 Penthouse Level	Bldg 4 1st Level	Bldg 4 2nd Level	Bldg 4 3rd Level	Bldg 4 Penthouse Level	Total Unit Summary	Total Living SF	Total Veranda SF	Total Utility SF	Parking Parking Ratio	Parking Parking Total	Railing Veranda LF	Railing 60 door LF	Railing Total LF	Unit
A0 / P0	1260	210	33	3	3	1	1	2	3	1	1									15	18,900	3,150	495	1 /unit	15	34	7	615	A0 / P0
2br / 2ba																													
A1 / P1	1425	245	33	2	2	2	1	2	2	2	1	2	2	2	1	2	2	2	1	28	39,900	6,860	924	2 /unit	56	38	7	1,200	A1 / P1
2br / 2ba																													
A2 / P2	1450	220	33	4	3	2		4	4	2		5	5	5	1	5	5	5	1	51	73,950	11,220	1,683	2 /unit	102	35	7	1,785	A2 / P2
2br / 2ba																													
A2X / P2X	1680	220	33		1	1	1													3	5,040	660	99	2 /unit	6	35	7	902	A2X / P2X
2br / 2ba																													
A3 / P3	1590	280	33					2	2	2	2	2	2	2	1	2	2	2	1	22	34,980	6,160	726	2 /unit	44	33	7	902	A3 / P3
2br / 2ba																													
B4 / P4	1990	480	33	4	4	4	1	4	4	4	1	5	5	5	1	5	5	5	1	58	115,420	27,840	1,914	2 /unit	116	67	21	5,104	B4 / P4
2br / 2ba + den/2br																													
B4X (B4+THS)	3240	600	33	1	1	1		1	1	1		1	1	1		1	1	1		12	38,880	7,200	528	2 /unit	24	67	28	1,140	B4X / P4X
3br / 3.5ba + den/4br + HT																													
THS	2310	280	33	1		1		1		1		1		1		1		1		8	18,480	2,240	264	2 /unit	16	22	0	176	THS
3br / 3ba																													
C6 / P6	2520	410	33									1	1	1	1	1	1	1	1	8	20,160	3,280	264	2 /unit	16	49	14	504	C6 / P6
3 br / 3.5ba																													
C6X / P6X	2530	550	33			1	1			1	1									4	10,120	2,200	132	2 /unit	8	72	7	316	C6X / P6X
3 br / 3.5ba																													
P7 (B4+A4)	2710	645	33				1				1				1				1	4	21,680	2,580	264	2 /unit	16	91	21	896	P7 (B4+A4)
3br / 3.5ba + mom rm																													
P7X (B4+A4+THS)	3960	790	33				1				1				1				1	4	15,840	3,040	264	2 /unit	8	91	28	476	P7X (B4+A4)
3br / 3.5ba + mom rm + library + HT																													
C6 / P6 (A1+A1)	2920	630	66			1	1			1	1	1	1	1	1	1	1	1	1	12	35,040	7,560	792	2 /unit	24	75	0	900	C6 / P6 (A1+A1)
3br / 3.5ba + den / library																													
P9 (A1+A2)	2890	595	33				1				1				1				1	4	11,560	2,380	132	2 /unit	8	76	7	340	P9 (A1+A2)
3br / 3.5ba + den / library																													
P10 (A1+A3)	3070	570	66												1				1	2	6,140	960	132	2 /unit	4	58	14	144	P10 (A1+A3)
3br / 3.5ba + den / library																													
P11 (B4+A1)	3790	810	33												1				1	2	7,420	1,620	66	2 /unit	4	100	28	256	P11 (B4+A1)
3br / 3.5ba + den / library																													
P12 (B4+B4)	3730	1360	66				1				1				1				1	4	14,920	5,200	264	2 /unit	8	165	28	772	P12 (B4+B4)
3br / 3.5ba + den / library																													
P13 (abv Com Facility)	3625	1158	0				1				1				1				1	1	3,625	1,158	0	2 /unit	2	40	2	80	P13 (abv CF)
Dbl Master / 2.5ba + den / library + HT				16	15	17	10	16	16	15	12	18	17	18	12	18	17	18	12	242	473,155	92,156	8,448	492		1084	219	14,725	
							53				59				65				65										

Program Summary
Preliminary

Artesia Parking	Ground Level
Guest	10
Delivery	4

Community Facility	Interior SF	Veranda SF	Rooftop SF
Level 1	13,270	2,615	
Level 2	10,920	1,670	
Level 3	1,630		4,180
	25,820	4,285	4,180



KEYPLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	063117	DRB SUBMITTAL

PERMIT NO.
RD SUBM DATE:
PLOT DATE

Project Number :
BGA No. 15029

Sheet Title :
PROGRAM SUMMARY

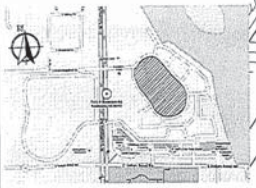
Sheet No. :
A-0.0A

16-DR-2017
7/13/17

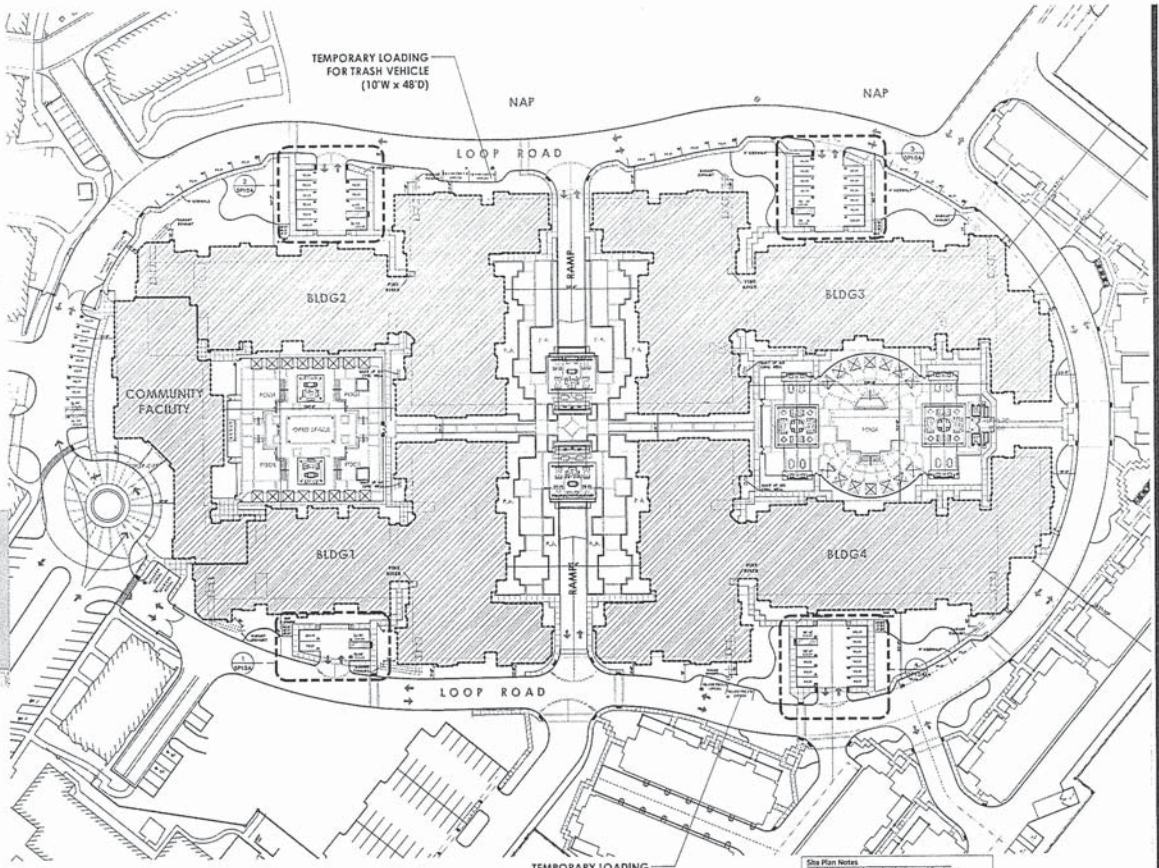
24 X 36

Project Summary	Residential / Com Facility
Site Data	
Zoning	R-5 PCD
Net Lot	363,570 sf / 8.3 ac
Units	242
Density	29.1
Building	
Height	50 ft - 4 story
Setback	varies 2' to 50' at Net Lot Area
Open Space	
Common Required	91,621 sf (25%) *
Common Provided	177,287 sf (49%) *
	w/ landscape strip 16.0 *
Private Required	Gross Flr area (485,563) 10% = 48,556
Private Provided	95,306 sf (see program summary)
	% gross flr area of units = 19.6%
	Avg. private OS / unit = 394 sf

Parking Summary	Residential / Com Facility
Required Spaces	412 spaces
1.7 Bedroom 242 x 1.7	
Provided Spaces	
Garage	511
Surface	51
Total	562
	2.4 spaces / unit
Accessible Auto Spaces	
Required (2% total parking)	24
Provided	28
	1 per bldg, garage / 2 per bldg surface
Accessible Van Spaces	
Required (1/6 total accessible)	24 / 6 = 4
Provided	4
	1 space per bldg
EVA Spaces	
Required (5% total parking)	30
Provided	32
	8 spaces per bldg
Bike Spaces	
Required (5/50 total parking)	562 / 50 = 60
Provided	242 - 1 per unit garage storage
	50 - 5 per bldg surface



VICINITY MAP



Site Plan Notes

1. All drive aisles to be designated fire lanes
   Min 24' width
   Min 25' inner turning radii
   Min 49' outer turning radii
   Min 55' bucket swing
   Surface to support 83,000 lb GVW
2. Provide knox entry access system
   Knox key box, key cylinder,
   key override & pre-emption
   strobe switch for automatic gates
3. See Site Plan for Fire Riser locations
4. See landscape plans for all hardscape materials
5. Refuse pickup for all buildings will be by porter service that delivers bins to the Service Truck temporarily parked along the loop road edge.

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

0 40' 120'

SCALE : 1" = 40'-0"

PA-1
SITE DEVELOPMENT PLAN

ARCHITECT:
BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :
ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner:
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SCOTTSDALE, ARIZONA

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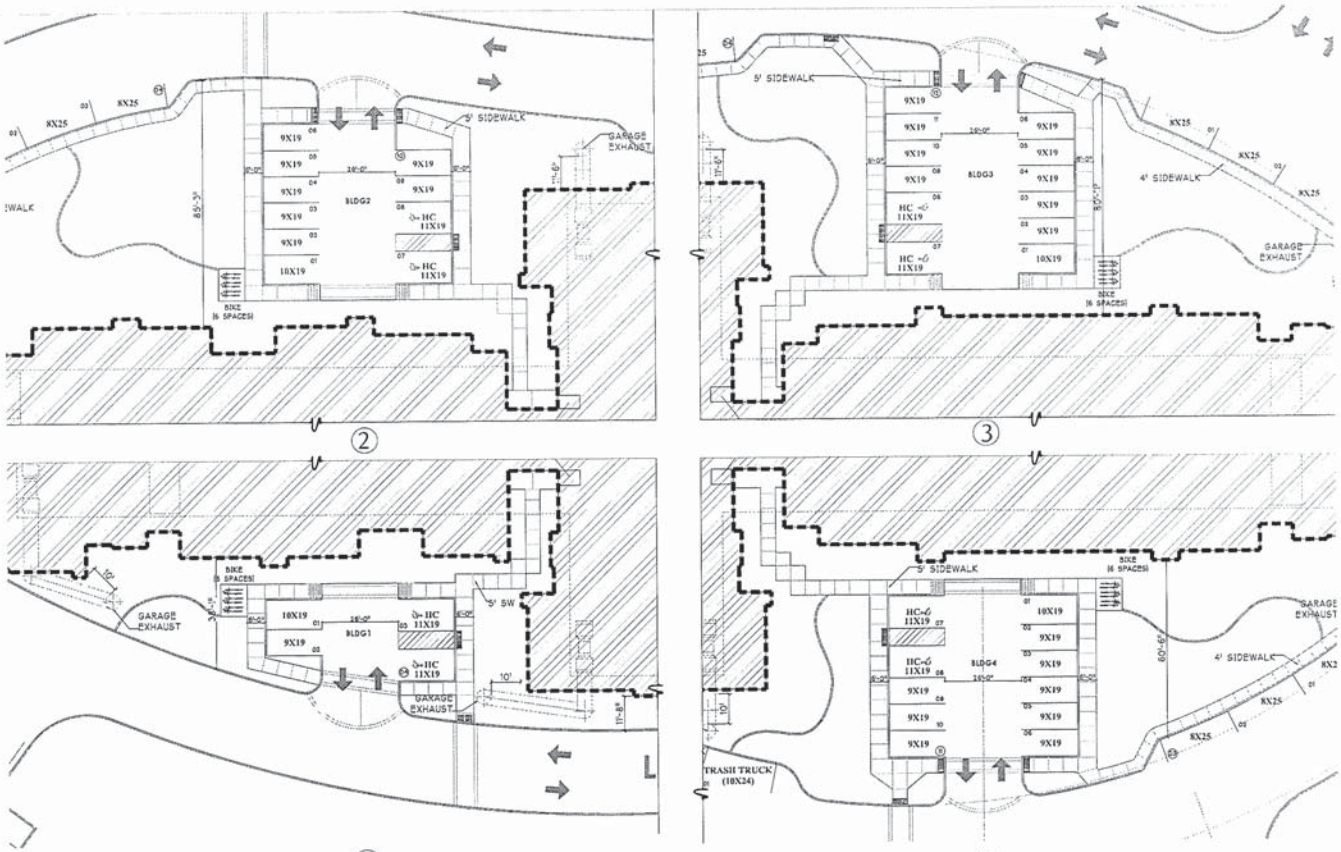
BGA No. 15029

Sheet Title :
PA-1 SITE DEVELOPMENT PLAN

Sheet No. :
SP-1.0

16-DR-2017
7/13/17

24 X 36



GUEST PARKING PLAN

PA-1

SITE DEVELOPMENT PLAN

SCALE 1" = 15'

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

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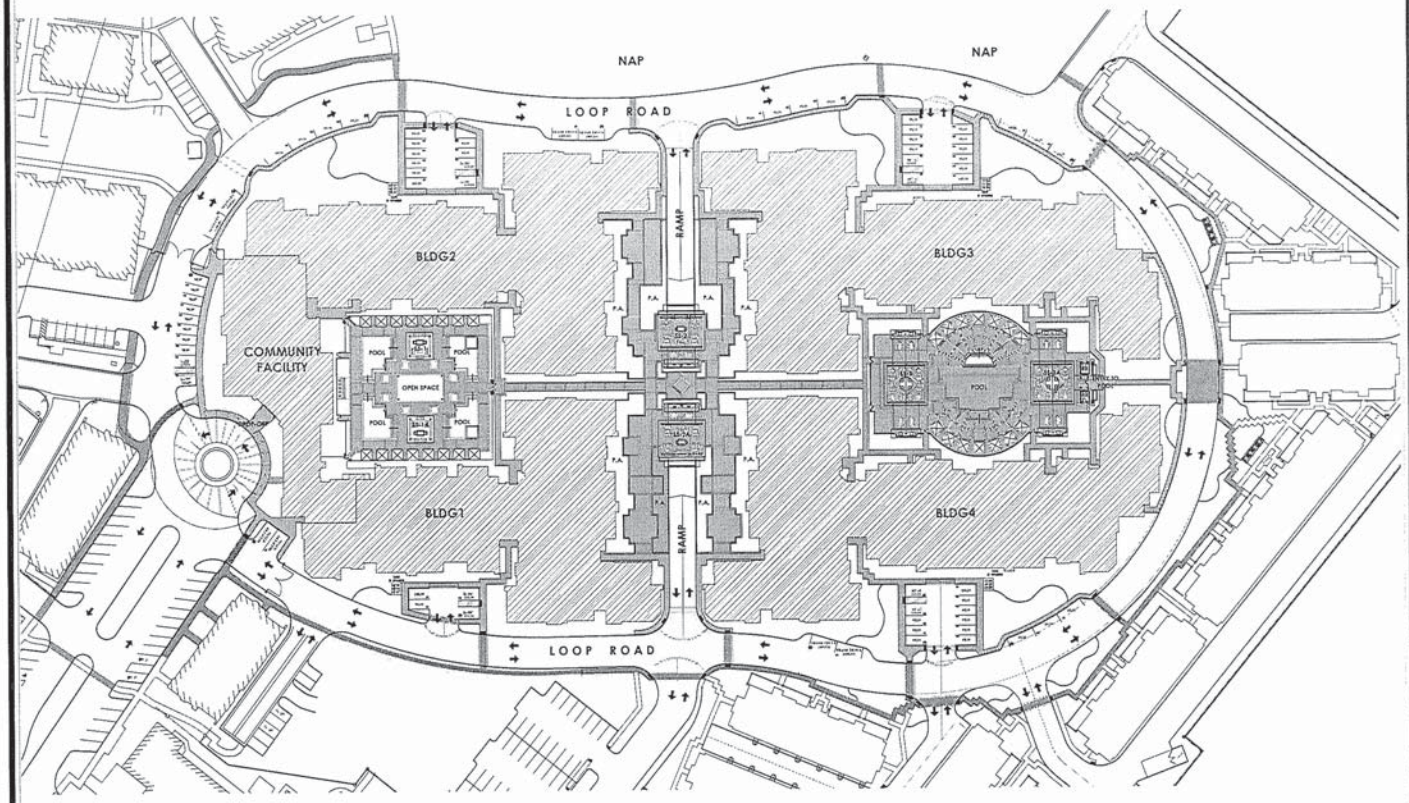
Sheet Title :
PA-1
GUEST PARKING PLAN

Sheet No. :
SP-1.0A

16-DR-2017
7/13/17

24 X 36



0 40' 120'
SCALE : 1" = 40'-0"

PA-1
SITE CIRCULATION PLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA
DRB SUBMITTAL 06-29-17

ARCHITECT:
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NO	DATE	DESCRIPTION
	062017	DRB SUBMITTAL

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PLOT DATE

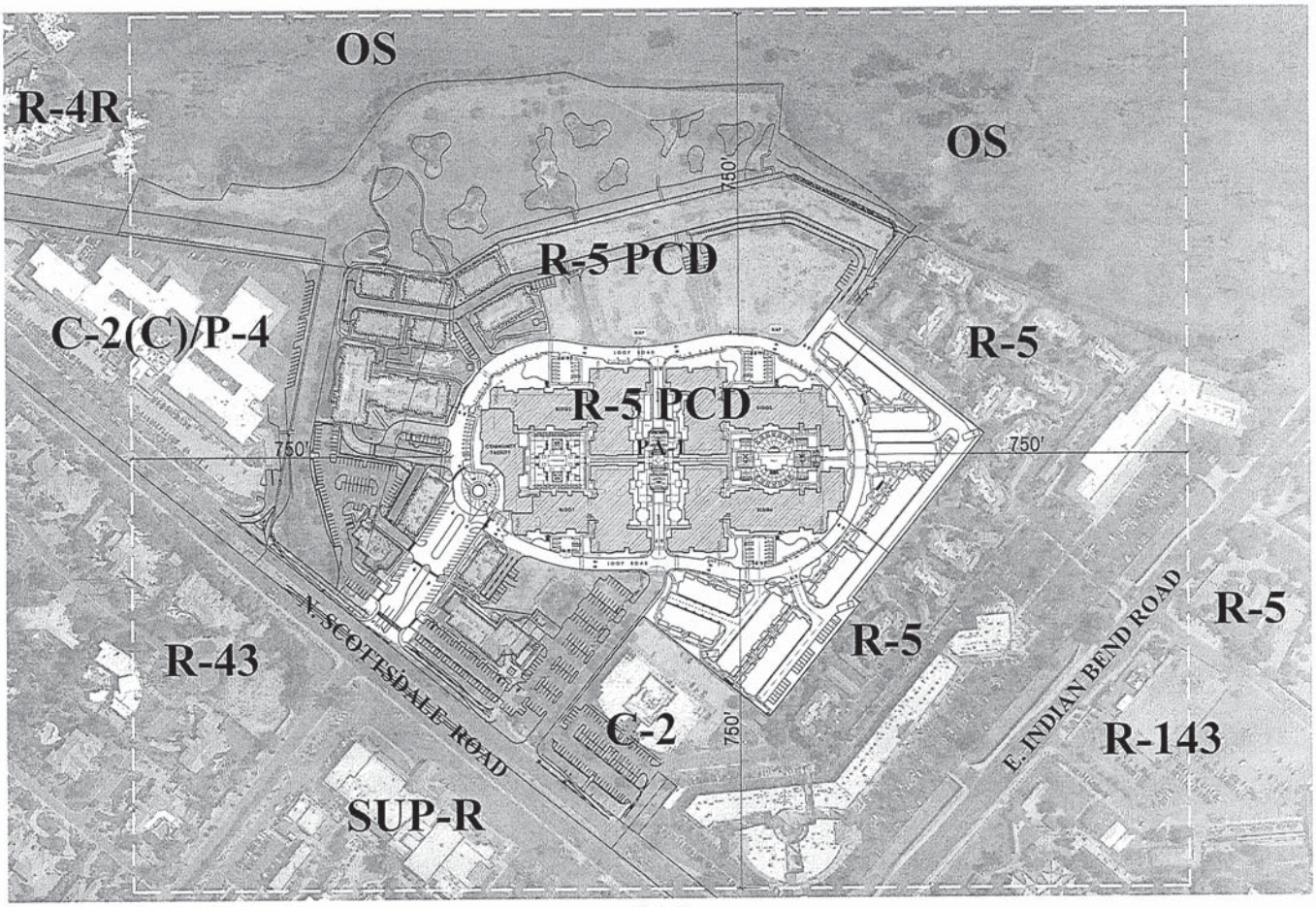
Project Number:
BGA No. 15029

Sheet Title :
PA-1 SITE CIRCULATION PLAN

Sheet No. :
SP-1.0B

16-DR-2017
7/13/17

24 X 36



0 100' 300'
SCALE : 1" = 100'-0"

PA-1
CONTEXT AERIAL

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

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NO.	DATE	DESCRIPTION
	06.29.17	DRB SUBMITTAL

PERMIT NO
PO SUBM. DATE
PLOT DATE

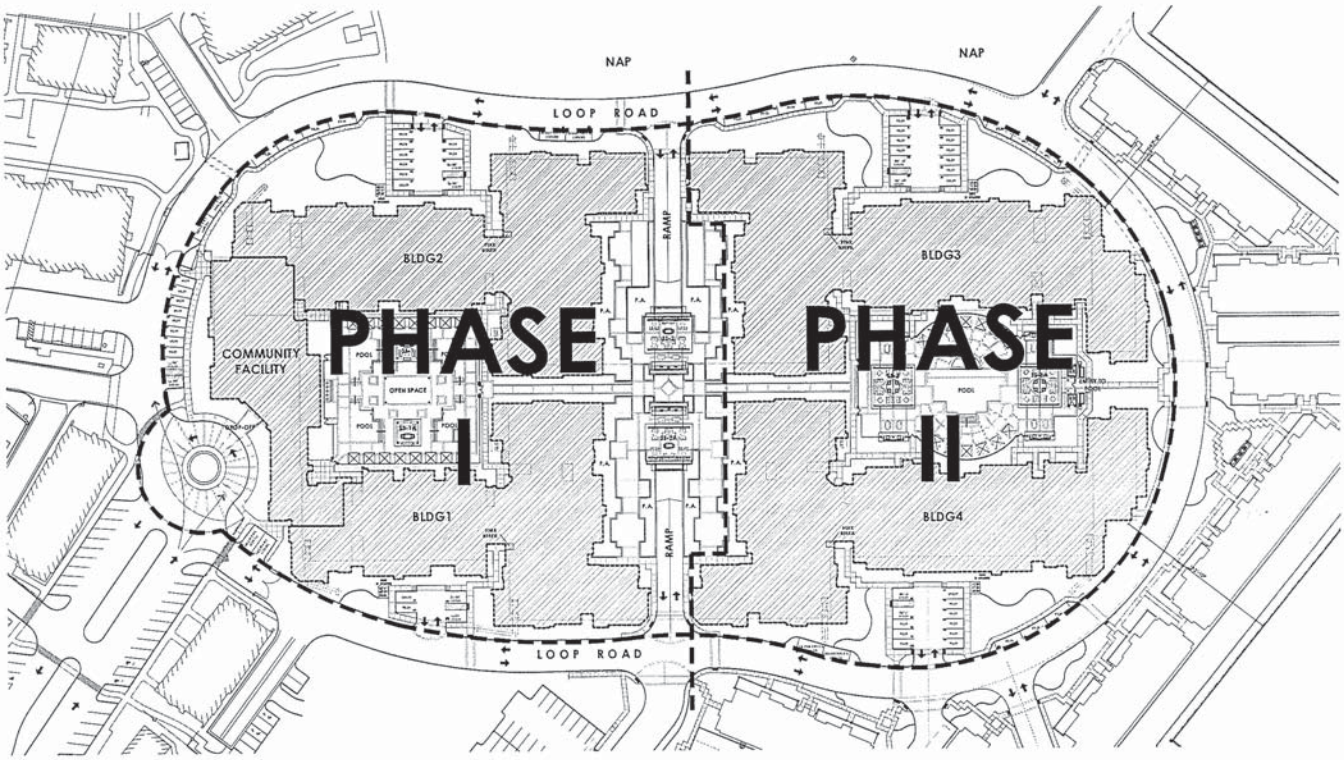
Project Number
BGA No. 15029

Sheet Title :
PA-1 / PA-3
CONTEXT AERIAL
PLAN

Sheet No. :
SP-2.0

16-DR-2017
7/13/17

24 X 36



0 40' 80' 120'
SCALE : 1" = 40'-0"

PA-1
PHASING PLAN

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

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7171 N. SCOTTSDALE ROAD
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RO TURNS DATE
PLOT DATE

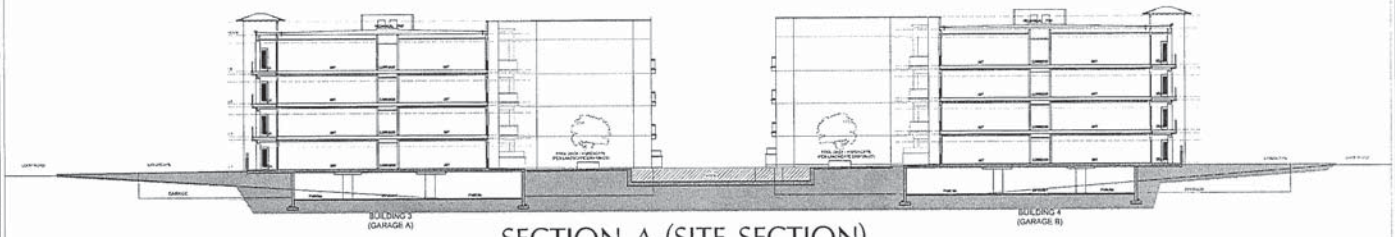
Project Number
BGA No. 15029

Sheet Title :
PA-1
PHASING PLAN

Sheet No. :
SP-2.1

16-DR-2017
7/13/17

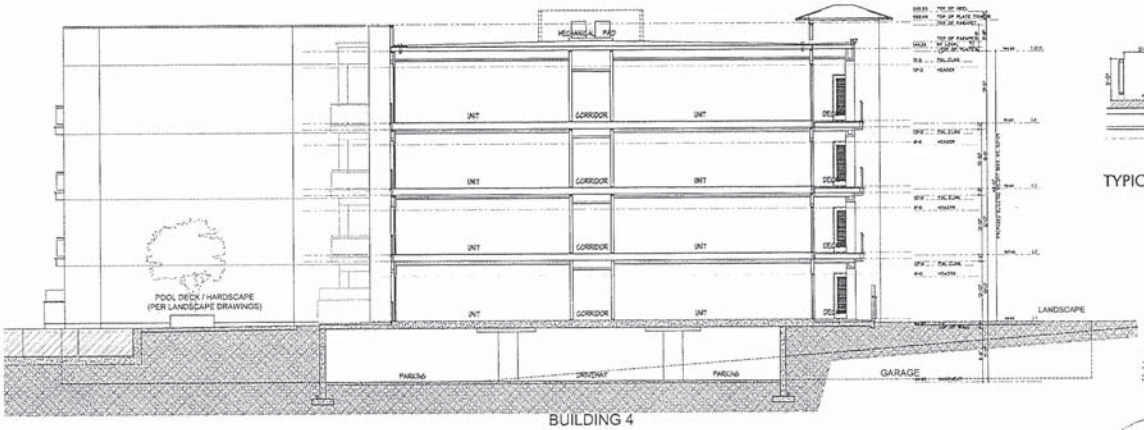
24 X 36



SECTION A (SITE SECTION)

0 16' 48'

SCALE : 1/16" = 1'-0"

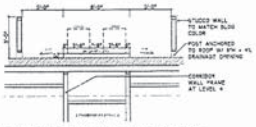


BUILDING 4
(GARAGE B)

TYPICAL BUILDING SECTION

0 8' 24'

SCALE : 1/8" = 1'-0"



TYPICAL MECHANICAL PAD

KEYPLAN

SITE TRANSITION SECTIONS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-24-17

ARCHITECT

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	063017	DRB SUBMITTAL

PERMIT NO:
DD SUBM. DATE
PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

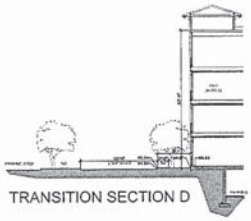
SITE SECTION
SECTION A
BUILDING SECTION

Sheet No. :

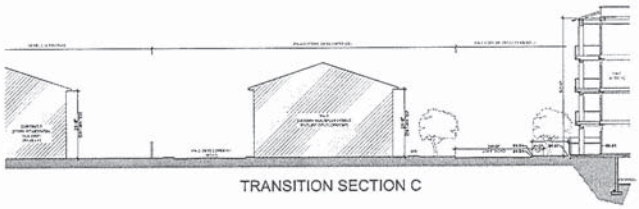
SP-3.0

16-DR-2017
7/13/17

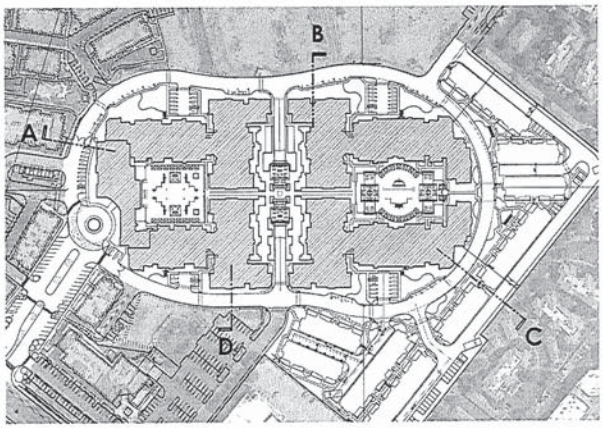
24 X 36

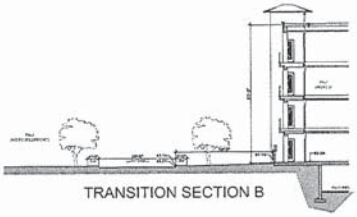


TRANSITION SECTION D



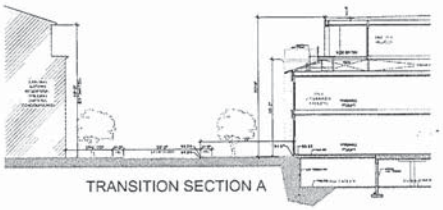
TRANSITION SECTION C





TRANSITION SECTION B

KEYPLAN



TRANSITION SECTION A

0 16' 48'

SCALE : 1/16" = 1'-0"

SITE TRANSITION SECTIONS

PROJECT ADDRESS :
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

DRB SUBMITTAL 06-29-17

ARCHITECT:

BUCILLA GROUP ARCHITECTURE

STAMP

EXPIRES 06/30/2018

Project :

ARTESIA
7171 N. SCOTTSDALE ROAD
SCOTTSDALE , ARIZONA

Owner

ARTESIA DEVELOPMENT PARTNERS, LLC
SCOTTSDALE, ARIZONA

NO.	DATE	DESCRIPTION
	06-29-17	DRB SUBMITTAL

PERMIT NO

BID SUBM DATE

PLOT DATE

Project Number

BGA No. 15029

Sheet Title :

SITE TRANSITION SECTIONS

Sheet No. :

SP-3.1

16-DR-2017
7/13/17